



PLANNING AND DEVELOPMENT DEPT.
CURRENT PLANNING DIVISION

9770 CULVER BOULEVARD, CULVER CITY, CALIFORNIA 90232-0507

(310) 253-5725
•
www.culvercity.org

May 7, 2025

Ashok Kanagasundram, AIA
6102 Summertime Lane
Culver City CA 90230

NOTICE OF DECISION OF ADMINISTRATIVE SITE PLAN REVIEW P2025-0048-ASPR FOR CONSTRUCTION OF A THREE-UNIT RESIDENTIAL DEVELOPMENT

3955 Bentley Avenue, Medium Density Multiple Family (RMD) Zone

Dear Ashok Kanagasundram:

This letter is to inform you that your application for Administrative Site Plan Review, P2025-0048-ASPR to construct a new three-unit apartment comprised of one single-family unit and a duplex on property located at 3955 Bentley Avenue has been approved. A detailed project description, background, analysis, and public outreach summary are incorporated herein as Attachment 1. The approval is subject to the outlined conditions incorporated herein as Attachment 2.

This administrative decision may be appealed in accordance with Title 17, Section 17.640.030 Appeals, by any interested person within 15 calendar days of approval, by 5:30 PM. If no appeal is filed, the decision shall become final.

For any inquiries, please contact Narek Mkrtoumian, Planning Technician, at (310) 253-5714 or narek.mkrtoumian@culvercity.org.

Sincerely,

Mark E. Muenzer

Mark E. Muenzer
Planning and Development Director

Enclosures:

1. Attachment 1 – Project Background, Analysis, and Findings
2. Attachment 2 – Conditions of Approval
3. Preliminary Development Plans dated March 3, 2025

Copy:

Decision Letter Binder
Project Review Committee
Case File No. P2025-0048-ASPR

Attachment 1 - Project Background, Analysis, and Findings
Administrative Site Plan Review
3955 Bentley Avenue – P2025-0048-ASPR

Background

On March 5, 2025, Ashok Kanagasundram (the “Applicant”) applied for an Administrative Site Plan Review to allow the development of a three-unit apartment building on a 5,000 square foot parcel at 3955 Bentley Avenue (the “Project Site”) in the Medium Density Multiple Family (RMD) Zone. Pursuant to Culver City Municipal Code (CCMC) Section 17.540.010, Site Plan Review – Applicability, review and approval of an ASPR is required for construction of a new residential project of three or more units, subject to compliance with all applicable standards, required findings per CCMC Section 17.540.020 – Findings and Decision, and conditions of approval.

Site Description

The Project Site is located on the west side of Bentley Avenue in Culver City. The property is generally flat in topography and rectangular in shape, measuring approximately 50 feet wide and 100 feet long for a total gross area of 5,000 square feet. The Site is currently developed with an 812 square-foot (SF) single-story single-family residential structure with an attached garage.

Surrounding Area/General Plan/Zoning

The Project Site is in an urbanized area surrounded by a mix of duplex, triplex, and other multi-family uses with some single-family homes in the area. The surrounding neighborhood consists of largely rectangular parcels that are similar in size. The City’s General Plan Land Use Element designates the site as Medium Density Multiple Family and the site is zoned Medium Density Multiple-Family Residential (RMD).

Table 1: Surrounding Zoning and Land Use

Location	Zoning	Land Use
North	RMD	Single-Family
East (across alley)	MU-MD	Commercial
South	RMD	Duplex
West	RMD	Single-Family

Project Description

The proposed development features three residential units, including one single-family dwelling and two duplex units, on a 5,000 SF lot in the RMD zoning district. The architectural design includes cantilevered elements, roof decks, and exterior finishes in white stucco, gray stucco, and pale green stucco, complemented by vinyl siding and black metal railings with perforated panels.

The single-family dwelling is a two-story structure with a total height of 30 feet 6 inches, while the duplex units rise to three stories with a maximum height of 34 feet 8 inches, well within the 43-foot zoning limit. The project adheres to a 10-foot front setback, 5-foot side setbacks, and a 15-foot rear setback. Private open areas for the units significantly exceed the required 150 SF per unit. The units will be offered at market rate.

Traffic, Parking, Circulation

Although not required by Culver City Municipal Code, the development provides six parking spaces to serve its three residential units. A single covered garage space fronts Bentley Avenue, serving unit 1. The remaining five uncovered spaces consist of four tandem parking spots dedicated to the duplex units (units 2-3), arranged in two nose-to-tail configurations along the rear

alleyway. An additional uncovered space runs parallel to Bentley Avenue in the driveway. The tandem parking is accessed via the rear alley, while the driveway space provides convenient frontage access. Parking in the rear will be screened.

Open Space and Landscaping

The project complies with open space requirements by allocating more than 150 square feet per unit. Each unit offers a rooftop deck and private balconies facing the rear alley and Bentley Avenue. The preliminary landscape plans emphasize sustainability with native, drought-tolerant, and low-water-use plantings. The applicant will submit a final landscape plan to be reviewed during permit processing.

SB 330/SB 8 Compliance

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project ("Project") on a site ("Property") that will require demolition of existing dwelling units or occupied or vacant "Protected Units" unless the Project replaces those units as specified in the law. Owner occupied residences are not "Protected Units". The Property is occupied by one single family residence that was most recently owner occupied but is now vacant pending the proposed Project approval. The City's Housing Authority determined that the subject property is exempt from SB 330 and SB 8 based on current City records and applicant testimony.

Environmental Determination

The proposed Project is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 3 – New Construction or Conversion of Small Structures, as it involves the construction of no more than three dwelling units in an urbanized area.

Public Outreach

Three community meetings were held for this project, with the first occurring on Tuesday December 3, 2024; residents expressed concerns about balcony placements and the rooftop deck design. Due to a mailing error, the applicant was required to host a second, virtual only community meeting on Tuesday January 14, 2025. By the second meeting, the applicant had revised the plans to address these issues by removing balconies facing adjacent properties and relocating them to the front along Bentley Avenue and rear portions of the building. The rooftop deck was modified to include planters that provide additional privacy screening. A third community meeting was held on Monday April 7, 2025. The primary concerns regarded construction related abatement and street parking.

On April 10, 2025, notification of the pending administrative decision and an invitation to provide comment was sent to property owners and occupants adjacent to the Project Site. The public comment period closed on April 25, 2025. The City received one comment from the public regarding the subject project. The letter addressed to the Current Planning Division outlined several concerns, namely:

- Parking along Bentley Avenue, rear alley, and adjacent streets
- Tree Removal in front yard setback and pine trees along Bentley Avenue
- Emissions from construction, project timeline, and vehicular emissions
- Loss of sunlight, privacy, and views due to project height.

Findings:

As outlined in CCMC Title 17, Section 17.540.020, the following required findings for an Administrative Site Plan Review are hereby made:

1. **Project does not have a specific, adverse impact on public health or safety. A "specific adverse impact" means a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions in existence on date application was deemed complete.**

Based on the proposed scope of work and preliminary plans, the project is not expected to have a specific, adverse impact on public health or safety, as defined by a significant, quantifiable, direct, and unavoidable effect under applicable standards. The project will strictly adhere to all applicable AQMD regulations, including fugitive dust control (Rule 403), asbestos handling (Rule 1403, if applicable), and emissions mitigation, ensuring full compliance through verified best management practices (BMPs) and monitoring. The applicant must submit a Comprehensive Construction Management Plan (CMP) that will include all required mitigation measures for pedestrian safety, traffic control, pest abatement, waste management, and site logistics prior to permit issuance. Since these standard protections—along with AQMD-mandated controls—will be implemented through the forthcoming CMP, no unavoidable adverse impacts are anticipated.

2. **The project is consistent with the purpose and intent of this Chapter, the requirements of the zoning district in which the site is located, and with all applicable development and objective design standards, as existed on the date the application was deemed complete.**

The proposed three-unit apartment building at 3955 Bentley Avenue (5,000 sq ft) complies with RMD zoning, which allows up to six units (50 dwelling units/acre). The project complies with all applicable zoning standards, including density, setbacks, height, and objective design criteria in effect when the application was deemed complete. The development aligns with the purpose and intent of the zoning code, ensuring it meets all necessary development standards for approval.

3. **The proposed project is consistent with the General Plan and any applicable specific plan.**

The proposed three-unit residential development will not result in significant impacts on surrounding uses and is consistent with the General Plan's goals and policies. The project will add two net new units at a density compatible with the Medium-Density Multiple Family designation, which permits single-family homes, duplexes, and multifamily residences. Furthermore, the addition of two net new units will count toward meeting the Regional Housing Needs Assessment (RHNA) allocation of market rate units for Culver City and will be consistent with Objective 2 of the Housing Element, which encourages opportunities for developing a variety of housing types while protecting the character and stability of existing neighborhoods. There is no applicable Specific Plan for this area.

4. **The existing or proposed public facilities necessary to accommodate the proposed project (e.g., fire protection devices, parkways, public utilities, sewers, sidewalks, storm drains, street lights, traffic control devices, and the width and pavement of adjoining streets and alleys) will be available to serve the subject site.**

The project site is situated within a developed urban neighborhood, currently occupied by a single-family residence. All essential public infrastructure and services are already available to serve the property. As part of the project approval, required street improvements including new curb and gutter will be constructed along the adjacent right-of-way. The City's interdepartmental review has confirmed that existing and planned public facilities - including roadways, utilities, drainage systems, pedestrian infrastructure, and emergency services - are fully adequate to support the proposed development.

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
1.	Street trees, tree wells, and irrigation shall be installed, to the satisfaction of the City Engineer and Current Planning Manager, in conformity with the City's approved Urban Forest Master Plan, and where appropriate, the Washington National TOD Oriented Street scape plan. All new (and existing) street trees shall be supplied with irrigation water from the overall site irrigation system which shall include a timer and a rain sensor. All new (and existing) street trees, landscaping, and irrigation shall be indicated on the overall site landscaping/irrigation plan. In residential areas, all new off-site landscaping shall conform to the City's Residential Parkway Guidelines.	Public Works/ Planning	Standard	
2.	At the sole cost and expense of the Property Owner, any curbs, gutters, sidewalks, streetlights, street light wires and conduits, traffic signal equipment, street pavement, and any other City infrastructure which are damaged or broken from construction of the Project shall be repaired and reconstructed in conformity with APWA Standards and to the satisfaction of the City Engineer.	Public Works	Standard	
3.	Drainage devices, concrete curb and gutter, sidewalk, and drive approach, roadway pavement shall be designed to the latest edition of the American Public Works Association (APWA) Standard Plans.	Public Works	Standard	
4.	The applicant shall provide a geotechnical report from a State licensed geotechnical engineer, as part of the Site Improvement Plan, reporting on the suitability of the onsite soils to support the proposed construction. The report shall also include a liquefaction analysis and a determination of the adequate pavement and base requirements for the drive aisles and parking areas. The report shall also identify any special considerations necessary to satisfy California Building Code requirements.	Public Works	Standard	
5.	On-site improvement plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting. Among other things, the on-site improvement plans shall include detailed on-	Public Works	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
	site drainage and grading of the site indicated by topographical lines and spot elevations. This plan shall be approved for on-site construction only.			
6.	The project shall be subject to Holiday Moratorium dates as required by the December 17, 2009 Public Works/Engineering Holiday Slowdown Policy memo, in which work in the public right-of-way is restricted or prohibited on certain days in November and December.	Public Works	Standard	
7.	Fire sprinkler main lines shall not be allowed to discharge into the public right-of-way, and they shall discharge into the sanitary sewer system.	Public Works	Standard	
8.	All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 – “Solid Waste Management”, which outlines the Sanitation Division’s exclusive franchise for this service. The project shall provide adequate trash and recycling capacity and shall comply with Assembly Bills 939, 1826, and 341 waste diversion goals.	Public Works	Standard	
9.	All buildings and structures to be constructed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City’s Building Code, Fire Code and any related codes as determined by the Building Official and Fire Marshal; and all other applicable provisions of the CCMC which are adopted and in effect at the time of complete building permit application submittal.	All Depts	Standard	
10.	Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – “Changes to an Approved Project”.	Current Planning	Standard	
11.	Each dwelling unit shall be equipped with its own individual gas, water, and electrical meter.	Current Planning	Standard	
12.	Backflow preventors and/or any other fire apparatus shall be placed on private property.	All Depts	Standard	
13.	Common use easements (or general common access easement agreements) shall be secured to ensure all parcels or lots within the Project have necessary vehicular, pedestrian, and utility	Current Planning	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
	drainage, and sewage access to public rights-of-way and City and utility main lines.			
14.	The applicant shall provide a NFPA 13d fire sprinkler system per CCMC 9.02 and the 2019 California Fire Code Chapter 9.	Community Risk Reduction	Standard	
15.	The applicant shall ensure that water meter and main line service to the building shall meet the minimum requirement of 1" to ensure the hydraulic calculations for the fire sprinkler system.	Community Risk Reduction	Standard	
16.	The applicant shall install a fire sprinkler system in both new and existing portions of the building per CCMC 9.02.	Community Risk Reduction	Standard	
17.	The applicant shall provide KNOX box with keys for all common doors and gates.	Community Risk Reduction	Standard	
18.	The applicant shall provide addresses viewable and legible from the public way. Size and font shall meet Fire and Building Code requirements.	Community Risk Reduction	Standard	
19.	The applicant shall provide a smoother surface from street to units and parking area for use of gurneys.	Community Risk Reduction	Standard	
20.	The applicant shall provide an ALTA survey topographical map showing the existing structures on the lot and the lot lines. The map shall also show the existing street trees, parking meters, parking tees, pull boxes (if any), etc.	Public Works Engineering	Standard	
21.	All existing driveway approaches which will no longer be necessary due to this project shall be removed and replaced with full height sidewalk, parkway, and curb and gutter.	Public Works Engineering	Standard	
22.	The applicant shall replace with full concrete panel pavement all utility cuts in concrete street paving.	Public Works Engineering	Standard	
23.	The formal application shall include a preliminary drainage plan.	Public Works Engineering	Standard	
24.	Any construction work in the public right-of-way requires the issuance of an encroachment permit from the Public Works Department including traffic control plan consistent with the CA MUTCD.	Public Works Mobility	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO DEMOLITION PERMIT ISSUANCE				
25.	The project shall fully comply with all applicable AQMD rules, including fugitive dust control (Rule 403), asbestos abatement (Rule 1403, if applicable), and emissions mitigation, with measures detailed in the final approved Construction Management Plan by Building and Safety.	Building/ Current Planning	Standard	
26.	A covenant and agreement, on a form provided by the Current Planning Division and the City Attorney, acknowledging and agreeing to comply with all terms and conditions established herein, shall be signed by the Property Owner and recorded in the County Recorder's Office. The covenant and agreement shall run with the land and shall be binding on any subsequent owners, and tenants or occupants of the Property. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Current Planning Division.	Current Planning/ City Attorney	Standard	
27.	The Applicant and/or Property Owner shall indemnify, hold harmless and defend (at the Applicant's and Property Owner's sole cost and expense, with legal counsel approved by the City in its sole discretion) the City, its elected and appointed officials, officers, employees, agents, contractors and consultants from and against any and all claims, lawsuits, judgments, liability, injury or damage arising from or in any manner connected to any and all permits or approvals relating to the Project, including without limitation associated and reasonably incurred attorneys' fees and court and litigation costs arising out of the defense of any such claims and/or lawsuits, and actual attorneys' fees and court and litigation costs that may be awarded by the court and required to be paid by the City. The obligations required by this Condition shall be set forth in a written instrument in form and substance approved by the City Attorney and signed by the Applicant and Property Owner.	City Attorney	Standard	
28.	A Comprehensive Construction Management Plan (CMP) shall be submitted to Building & Safety as part of the Building Permit plan check approval process and shall be approved prior to issuance of the Demolition and / or Building Permit. The comprehensive CMP shall include all plans specified	All Depts	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO DEMOLITION PERMIT ISSUANCE				
	<p>in the conditions of approval. In addition, the plan will identify the areas of construction staging, temporary power, portable toilet, and trash and material storage locations. The CMP shall show all areas of the public right-of-way which may be affected by the construction of the project. Unless otherwise approved by the Public Works Director, sidewalk access shall be maintained at all times along the project's frontage.</p> <p>In addition to the above, the CMP shall include the following components:</p> <p>a. <u>Pedestrian Protection Plan</u> shall identify all areas of pedestrian protection and indicate the method of pedestrian protection or pedestrian diversion when required. When pedestrian diversion is required, the Pedestrian Protection Plan must also be approved by the City Engineer.</p> <p>b. <u>a Construction Traffic Management Plan</u> shall be prepared by a traffic or civil engineer registered in the State of California. The Construction Traffic Management Plan shall be reviewed and approved by the City Engineer and Current Planning Manager prior to the issuance of any Project demolition, grading, or excavation permit. The Construction Traffic Management Plan shall also be reviewed and approved by the City's Fire and Police Departments. The City Engineer and Current Planning Manager reserve the right to reject any engineer at any time and to require that the Plan be prepared by a different engineer. The Construction Traffic Management Plan shall contain, but not be limited to, the following:</p> <p>A. The name and telephone number of a contact person who can be reached 24 hours a day regarding construction traffic complaints or emergency situations.</p> <p>B. An up-to-date list of local police, fire, and emergency response organizations and procedures for the continuous coordination of construction activity, potential delays, and any alerts related to unanticipated road conditions or delays, with local police, fire, and emergency response agencies. Coordination shall include the</p>			

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO DEMOLITION PERMIT ISSUANCE				
	<p>assessment of any alternative access routes that might be required through the Property, and maps showing access to and within the Property and to adjacent properties.</p> <p>C. Procedures for the training and certification of the flag persons used in implementation of the Construction Traffic Management Plan. Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles into and out of the Property.</p> <p>D. The location, times, and estimated duration of any roadway closures, traffic detours, use of protective devices, warning signs, and staging or queuing areas.</p> <p>E. The location and travel routes of off-site staging and parking locations.</p> <p>F. Estimated number of trucks per hour for dirt hauling, concrete pouring, deliveries, etc.</p> <p>c. <u>a Demolition Debris Recycling Plan</u> shall list the material to be recycled and the name, address, and phone number of the facility of organization accepting the materials. Reasonable efforts shall be used to reuse and recycle construction and demolition debris, to use environmentally friendly materials, and to provide energy efficient buildings, equipment, and systems.</p> <p>d. <u>a vector/pest control abatement plan</u> prepared by a pest control specialist licensed or certified by the State of California shall outline all steps to be taken prior to the commencement of any demolition or construction activity in order to ensure that any and all pests (including, but not limited to, rodents, bees, ants and mosquitoes) that may populate the Property do not relocate to or impact adjoining properties.</p> <p>e. The CMP shall address implementation of the following <u>measures during construction</u>:</p> <p>i Foundation Shoring Plan demonstrating use of noise dampening design methods.</p>			

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO DEMOLITION PERMIT ISSUANCE				
	ii Construction Rules Sign that includes contact names and telephone numbers. iii Daily maintenance of construction site. iv Dust control by regular watering. v Construction worker and contractor offsite parking. vi Staging and storage of construction equipment on-site only. vii Compliance with noise standards. f. <u>Foundation shoring and/or foundation piles.</u> When foundation shoring and/or foundation piles will be part of the Project, the engineer of record shall specify use of noise dampening measures such as the drilling of shoring supports and piles as determined by the Building Official and Current Planning Manager, which shall be incorporated in project plans.			
29.	The CMP should show truck routes to and from the site. Stay away from residential areas as much as possible and use primary arterials.	Public Works	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO GRADING / BUILDING PERMIT ISSUANCE				
30.	A minimum of two sets of final landscaping and irrigation plans (separate from the plans submitted for the building permit) shall be submitted to the Current Planning Division for review and approval.	Current Planning	Standard	
31.	Prior to the issuance of a building permit, the applicant shall obtain the approval of the City's Environmental Programs and Operations Manager for the size, location, and type of equipment needed for the adequate storage and disposal of all solid and recyclable waste generated by the project.	Public Works Environmental Programs and Operations	Standard	
32.	Prior to issuance of a building permit, notice of the Project construction schedule and CCMC 3307 shall	Building	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO GRADING / BUILDING PERMIT ISSUANCE				
	be provided to all abutting property owners and occupants within 100 feet of the site. An affidavit of such notification shall be provided to the Building Division (building.safety@culvercity.org). The notice shall identify the commencement date and proposed timing for all construction phases (demolition, grading, excavation/shoring, foundation, rough frame, plumbing, roofing, mechanical and electrical, and exterior finish).			
33.	<p>a. The applicant, including the on-site construction superintendent, shall attend a pre-construction meeting with all reviewing City departments and/or divisions, organized by Building Safety, in order to review all project conditions of approval.</p> <p>b. Prior to commencement of work the construction contractor shall advise the Public Works Inspector on-site ("Inspectors") of the construction schedule and shall meet with the Inspectors.</p>	All Depts	Standard	
34.	The applicant shall landscape the parkway with drought tolerant plants according to the City's parkway planting guidelines. Off-site landscape plans to be submitted to Engineering Division for review and approval prior to Building Permit Issuance.	Public Works	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
35.	Removal of any street trees is prohibited. If street trees are removed for any reason, they shall be replaced at 2:1 ratio.	Public Works	Standard	
36.	During all phases of construction, a "Construction Rules Sign" that includes contact names and telephone numbers of the Developer, Property Owner, construction contractor(s), and the City, shall be posted on the Property in a location that is visible to the public. These names and telephone numbers shall also be made available to adjacent property owners and occupants to the satisfaction of the Current Planning Manager and Building Official.	Building/ Current Planning	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
37.	During construction, pedestrian access along the project's frontage shall be maintained at all times.	Public Works	Standard	
38.	During construction, the Property shall be maintained daily so that it is free of trash and litter.	Building	Standard	
39.	During construction, dust shall be controlled by regular watering or other methods as determined by the Building Inspector.	Building/ Public Works	Standard	
40.	<p>The Building Division may apply administrative assessments and/ or post general stop work notices for any violations of the Conditions of Approval for the Project, and any violations of the CCMC.</p> <p>In the event three citations are issued in connection with the Project for violations of these Conditions of Approval or for other violations of the CCMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the CCMC.</p>	Building	Standard	
41.	During all phases of construction, all construction workers, contractors, and others involved with the Project shall park on the Property or at designated offsite locations approved by the City, and not in the surrounding neighborhood.	Building/ Current Planning/ Public Works	Standard	
42.	Prior to the commencement of any excavation, a temporary construction fence with wind screen shall be installed around the site. The wind screen may be omitted for drivers line of sight. The height and fence material are subject to approval by the City Engineer and the Current Planning Manager. The site fence location shall be identified on the Demolition plan.	Building/ Current Planning/ Public Works	Standard	
43.	<p>Hours of construction shall be limited to the following: 8:00 AM to 8:00 PM Monday through Friday; 9:00 AM to 7:00 PM Saturday; and 10:00 AM to 7:00 PM Sunday and National holidays.</p> <p>Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 AM to 9:00 AM) and afternoon (4:00 PM to 6:00 PM) peak traffic periods. All construction workers shall be respectful of the surrounding neighborhood and keep</p>	Building/ Public Works	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
	non-construction related noise to a minimum prior to, during, and after permissible construction hours.			
44.	All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.	Building/ Public Works	Standard	
45.	<p>Compliance with the following noise standards shall be required with at all times:</p> <p>A. No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment,</p> <p>B. All construction equipment shall be properly maintained to minimize noise emissions,</p> <p>C. If any construction vehicles are serviced at a location onsite, the vehicle(s) shall be setback from any street and other property lines so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors;</p> <p>D. Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Current Planning Manager and the Building Official in order to comply with the City's Noise Regulations and Standards as set forth in CCMC Chapter 9.07; and</p> <p>E. Stationary source equipment (i.e., compressors) shall be located so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors.</p>	Building/ Current Planning	Standard	
46.	Construction vehicles shall not be permitted to stage or queue where they would interfere with vehicular and pedestrian traffic or block access to adjacent properties. During construction, trucks and other vehicles in loading and unloading queues must be	Building/ Public Works	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
	<p>parked with their engines off to reduce vehicle emissions. Construction deliveries shall be phased and scheduled to avoid emissions peaks as determined by the Building Official and discontinued during second-stage smog alerts.</p> <p>Off-site staging shall be at locations approved by the City Engineer and shall be of sufficient length to accommodate large trucks without being unduly disruptive to traffic operations. The drivers of these trucks shall be in radio or phone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the Property. Construction-related vehicles shall not be permitted to park on public streets except along the frontage of the construction site and shall be approved by the City Engineer.</p>			
47.	If existing streetlights are to be disabled for any reason, then temporary streetlights will need to be activated. Temporary street lighting shall be approved by the Public Works Inspector prior to installation.	Public Works	Standard	
48.	Project shall remove and replace all curb, gutter, and sidewalk. All new sidewalks shall be ADA compliant.	Public Works	Standard	
49.	The project shall replace any parking meters, signs and posts, signal poles, and any other traffic and parking control devices within the public right-of-way if damaged by the project construction.	Public Works Mobility	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
50.	<p>All onsite and offsite improvements and all conditions of approval except those which are deferred pursuant to a bond or letter of credit as determined and approved by the Building Official, Fire Marshal, Current Planning Manager, and/or City Engineer shall be completed prior to issuance of any certificate of occupancy. Prior to issuance of any certificate of occupancy the following shall be provided to and approved by the City:</p> <p>A digital format compatible with the City's computer system, of as-built set of plans that shall include at a minimum all information that is on the final version of the Building Permit set including any revisions as well as the site plan, grading and utility plan, landscape</p>	All	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
	and irrigation plan, floor plan for each level of the Project, parking structure plan, roof plan with all mechanical equipment identified as to purpose and source and all offsite improvements., and that are certified by the project architect and engineer.			
51.	The applicant shall scan the grading plans, all off-site plans, and SUSMP and SWPPP reports and forward the electronic copies to Engineering.	Public Works	Standard	
52.	All signs and existing painted curb fronting the site shall be replaced and refreshed.	Public Works	Standard	
53.	The Project shall comply with CCMC Chapter 15.06: New Development Fees including: a. Residential Development Park Dedication and In Lieu Parkland Fees as set forth in CCMC Section 15.06.300 et.seq., b. Mobility Improvement Fees, as set forth in CCMC Section 15.06.500, et. seq.	All	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
54.	Pursuant to CCMC Section 17.650.020 -"Inspection", the Property Owner and Applicant shall allow authorized City officials, or their designees, access to the Property where there is reasonable cause to believe the Property is not in compliance with these Conditions of Approval or other requirements of the CCMC.	All	Standard	
55.	The use and development of the Property shall comply with these Conditions of Approval and all applicable local, special district or authority, county, state and federal statutes, codes, standards, regulations, guidelines and policies, including, but not limited to, Building Division, Fire Department, Current Planning Division and Public Works Department requirements, and shall comply with all applicable CCMC requirements and all comments made during the City's building permit plan check review process (collectively, "Applicable Rules"). Failure to comply with Applicable Rules may result in reconstruction work, demolition, stop work orders, withholding of	All	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
	certificate of occupancy, revocation of land use permit approval and/or any other remedies available to the City in law or in equity.			
56.	All graffiti shall be removed from the Property within 48 hours of its application.	All Depts	Standard	
57.	The Property Owner shall maintain all street trees along the property frontage at his/her sole cost and expense.	Public Works	Standard	
58.	City Streetscape improvements shall be maintained by the project owner in perpetuity.	Public Works/ Current Planning	Standard	
59.	The project shall provide streetscape improvements along the project's street frontage including street trees in accordance with the Urban Forest Master Plan, and benches, bike racks, waste bins consistent with the specifications provided in the Washington National Streetscape plan.	Current Planning	Standard	
60.	All mitigation measures set forth in any environmental document relating to the Project (including any reports of the type contemplated by the California Environmental Quality Act) shall be incorporated herein by this reference as though fully set forth in these Conditions of Approval and shall be completed as specified therein.	Current Planning	Standard	
61.	If a residential unit is proposed to be demolished, or if a residential unit was demolished within the past five years, applicant shall submit an Application for a Replacement Unit Determination as required by the Housing Crisis Act of 2019, as amended by SB 8 and AB 1218 (California Government Code Section 66300 et seq.) along with any required Replacement Unit Determination fee. The applicant shall submit the Application for Replacement Unit Determination prior to submitting an application for a building permit. If the Replacement Unit Determination demonstrates that any residential unit is a "protected unit", applicant shall comply with all requirements of Government Code Section 66300 et seq. prior to issuance of building permit.	Current Planning	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
1.	All building permit applications for the Project shall include sufficient information and detail to clearly reflect compliance with all applicable requirements of the Culver City Municipal Code (the "CCMC") and with the Project Conditions of Approval.	Current Planning	
2.	The land use permit to which the Project Conditions of Approval apply (the "Land Use Permit") shall expire one year from the date of final approval of said Land Use Permit, if the use has not been exercised. As provided in CCMC Section 17.595.030 –"Time Limits and Extensions", an applicant may request an extension of said expiration date by filing a written request with the Current Planning Division prior to the expiration of the land use permit.	Current Planning	
3.	Pursuant to CCMC Section 17.630.010.C.4 – "Posted Notice", the public notification sign(s) installed in accordance with the public notification requirements for the Land Use Permit shall be removed within ten days after the end of the appeal period or the final decision by the City Council on the Land Use Permit, whichever occurs last.	Current Planning	
4.	The Project shall be developed pursuant to CCMC Chapter 17.300 – "General Property Development and Use Standards".	Current Planning	
5.	All planted areas on the Property shall be landscaped and irrigated pursuant to CCMC Chapter 17.310 - "Landscaping".	Current Planning	
6.	All parking areas on the Property shall be developed pursuant to CCMC Chapter 17.320 - "Off-Street Parking and Loading".	Current Planning	
7.	Signs proposed for the Project shall meet all applicable requirements of CCMC Chapter 17.330 - "Signs". All signs require a separate permit and approval.	Current Planning	
8.	Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – "Changes to an Approved Project".	Current Planning	
9.	Each dwelling unit shall be equipped with a seismic shutoff valve at all gas connections.	Building	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
10.	Each dwelling unit shall be equipped with its own individual water meter.	Building	
11.	The Project shall be reviewed under the building code edition adopted when Building and Safety receives an application and plan check fees are paid, with the associated complete plan and supporting documentation set.	Building	
12.	The Project applicant shall obtain all permits and licenses required in connection with the development or use of the Project.	All	
13.	All work within the public right-of-way (including but not limited to curb, gutter, sidewalk, and driveways) shall be designed and completed to the satisfaction of the City Engineer. Drainage devices, concrete curbs and gutters, sidewalks, drive approaches, and roadway pavement shall be designed in conformity with all provisions of the latest edition of the American Public Works Association Standard Plans ("APWA Standards").	Public Works	
12.	All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 – "Solid Waste Management", which outlines the Sanitation Division's exclusive franchise for this service. The project shall provide adequate trash and recycling capacity and shall comply with Assembly Bills 939, 1826, and 341 waste diversion goals.	Public Works	
13.	Applicant shall pay an initial plan check fee in the amount of \$750.00 each upon submittal of the on-site Improvement and off-site Improvement plans for review. Additional plan check and permit fees will be determined per the Engineering Division's Schedule of Fees and Charges.	Public Works	
14.	Concurrent with the submittal of the on-site improvement plan, a Standard Urban Stormwater Mitigation Plan (SUSMP) shall be submitted for review and approval by the City Engineer as outlined in CCMC Chapter 5.05. The SUSMP shall be developed and implemented in accordance with the requirements of the Los Angeles County Municipal Stormwater National Pollution Discharge Elimination System (NPDES) Permit No. CAS614001 (Order No. 01-182). The SUSMP shall provide Best Management Practices (BMP's) that adequately address the pollutants generated during the post-	Public Works	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
	construction stage and shall be designed for filtration, infiltration, and retention for the first 1.1" of rainfall. The site improvement plans shall note the contractor shall comply with the "California Stormwater Best Management Practice Handbooks". The Site Improvement Plans shall not be accepted for review unless the SUSMP is included in the submittal package, including the plan check fee associated with the SUSMP. Said SUSMP shall be used to guide the "Conceptual – Not For Construction" Post Development Hydrology / SUSMP Map. The approval of the SUSMP is required prior to issuance of the Site Improvement Plan. The SUSMP shall cover the new building and parking lot. The Site Improvement Plans shall not be accepted for review unless the SUSMP is included in the submittal package, including the plan check fee associated with the SUSMP.		
15.	Due to the change of use and increased density, this project is subject to the City's Sewer Facility Charge. This charge shall be paid prior to the issuance of the Building permit.	Public Works	
16.	Off-site improvement plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting for all proposed improvements within the public right-of-way. Separate plans shall be submitted for street improvements, street light improvements, traffic signal, signage and striping, and sewer improvements. Landscape and irrigation plans for the public parkway area and raised medians shall be included in the street improvement plans.	Public Works	
17.	Plans submitted as part of the building permit application shall include a schedule of the special inspections anticipated, the firm proposed for the special inspections, and the resumes of all proposed special inspectors. The Building Official reserves the right to reject any special inspector at any time for the duration of the Project. All special inspection reports shall be made available to the Building Official and to any Culver City Building Safety inspector as required by the Building Official. No work shall be covered without a Culver City Building Safety inspection, whether or not a special inspection was performed on such work.	Building	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
18.	Any new utilities shall be placed underground or enclosed within the building construction; no new overhead utilities shall be permitted.	Public Works/ Current Planning	
19.	The Project shall comply with all applicable requirements of the Culver City Energy Reach Codes as set forth in CCMC Section 15.02.1100-1180, et.seq.	Building	
20.	The Project shall comply with all applicable requirements relating to solar photovoltaic requirements as set forth in CCMC Section 15.02.100, et. seq. and as amended from time to time.	Building	
21.	<p>The Project shall comply will all requirements set forth in CCMC Subchapter 9.11.200, et seq., relating to the regulation of smoking in multi-unit housing, including, but not limited to, the following:</p> <ul style="list-style-type: none"> A. All dwelling units of a multi-unit residential property (containing two or more units) shall be designated nonsmoking units. B. Smoking in units, common areas and exclusive-use unenclosed areas shall be prohibited. C. Landlords and HOA Boards are required to provide in their leases and rules, respectively, the following terms related to nonsmoking: <ul style="list-style-type: none"> i. It is a material breach of the lease and a violation of the HOA rules (if applicable) to allow or engage in smoking in a unit; ii. It is a material breach of the lease, or violation of the HOA rules, as applicable, to engage in smoking in any common area, except in an outdoor designated smoking area, if one has been lawfully established and approved by the City; iii. It is a material breach of the lease, or violation of the HOA rules, as applicable, to violate any of the smoking laws while anywhere on the property; and iv. Other occupants of the property are express third-party beneficiaries of the provisions of the lease concerning smoking (for leases only). 	City Attorney	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0048-ASPR
3955 Bentley Avenue

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
	Smoking includes the smoking of tobacco, marijuana or any other weed or plant, but excludes e-cigarettes, incense and wood burning. The foregoing is not an exclusive list of requirements and the Project is subject to each and every provision set forth in CCMC Subchapter 9.11.200, et seq.		
22.	Upon completion of the rough grading and prior to excavation of shallow building foundations, the following reports and drawings and any supplements thereto shall be submitted to the City Engineer: a. An as-built grading plan prepared by the Civil Engineer. b. A certification by the civil engineer that the grading has been completed in conformance with the approved plan and California Building Code. c. A final compaction report and certification by the soils engineer that the grading has been completed to his/her satisfaction and is in compliance with the California Building Code.	Public Works	
23.	All utility lines fronting the site shall be undergrounded by the applicant.	Public Works	

GLOSSARY OF ABBREVIATIONS

<u>American Public Works Association Standard Plans</u>	<u>APWA Standards.</u>
<u>Construction Management Plan</u>	<u>CMP</u>
<u>Culver City Municipal Code</u>	<u>CCMC</u>
<u>Electrical Vehicle</u>	<u>EV</u>
<u>Homeowner's Association</u>	<u>HOA</u>
<u>Standard Urban Stormwater Mitigation Plan</u>	<u>SUSMP</u>
<u>Stormwater Pollution Prevention Plan</u>	<u>SWPPP</u>
<u>Transit Oriented Development</u>	<u>TOD</u>



PROJECT INFORMATION

ZONE:	RMD
APN:	4213017017
SINGLE FAMILY DWELLING:	2 STORIES WITH ROOF ACCESS 30' - 6" TOTAL HEIGHT (43' MAX)
DUPLEX:	3 STORIES WITH ROOF ACCESS 34'-8" TOTAL HEIGHT (43' MAX)
SETBACKS:	10' (FRONT), 5' (SIDE), 15' (REAR)
PARKING SPACE PROVIDED:	6 (TOTAL)
LOT AREA:	5000 SF (0.115 ACRES)
PROPOSED DENSITY:	3 UNITS (6 MAXIMUM / 3 MINIMUM)
REQUIRED OPEN AREA:	150 SF PER UNIT REQUIRED
PROVIDED OPEN AREA UNIT 1:	535 SF
PROVIDED OPEN AREA UNIT 2:	493 SF
PROVIDED OPEN AREA UNIT 3:	590 SF

VICINITY MAP



ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date
1	PRELIMINARY PLAN REVIEW	1/15/25

COVER

Project number	2024-12-03	A000
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	
		Scale 12" = 1'-0"

FRONT YARD LANDSCAPE AREA

TOTAL FRONT YARD AREA (TFYA): 500 SF

REQUIRED LANDSCAPING AREA: 55% OF TFYA

REQUIRED LANDSCAPING AREA: 55% OF 500SF

REQUIRED LANDSCAPING AREA: 275 SF

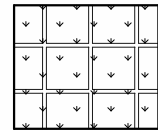
PROVIDED LANDSCAPING AREA

LANDSCAPE AREA 1: 34 SF

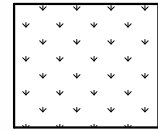
LANDSCAPE AREA 2: 113 SF

LANDSCAPE AREA 3: 164 SF

TOTAL LANDSCAPING AREA PROVIDED : 311 SF = 62.2% OF TFYA

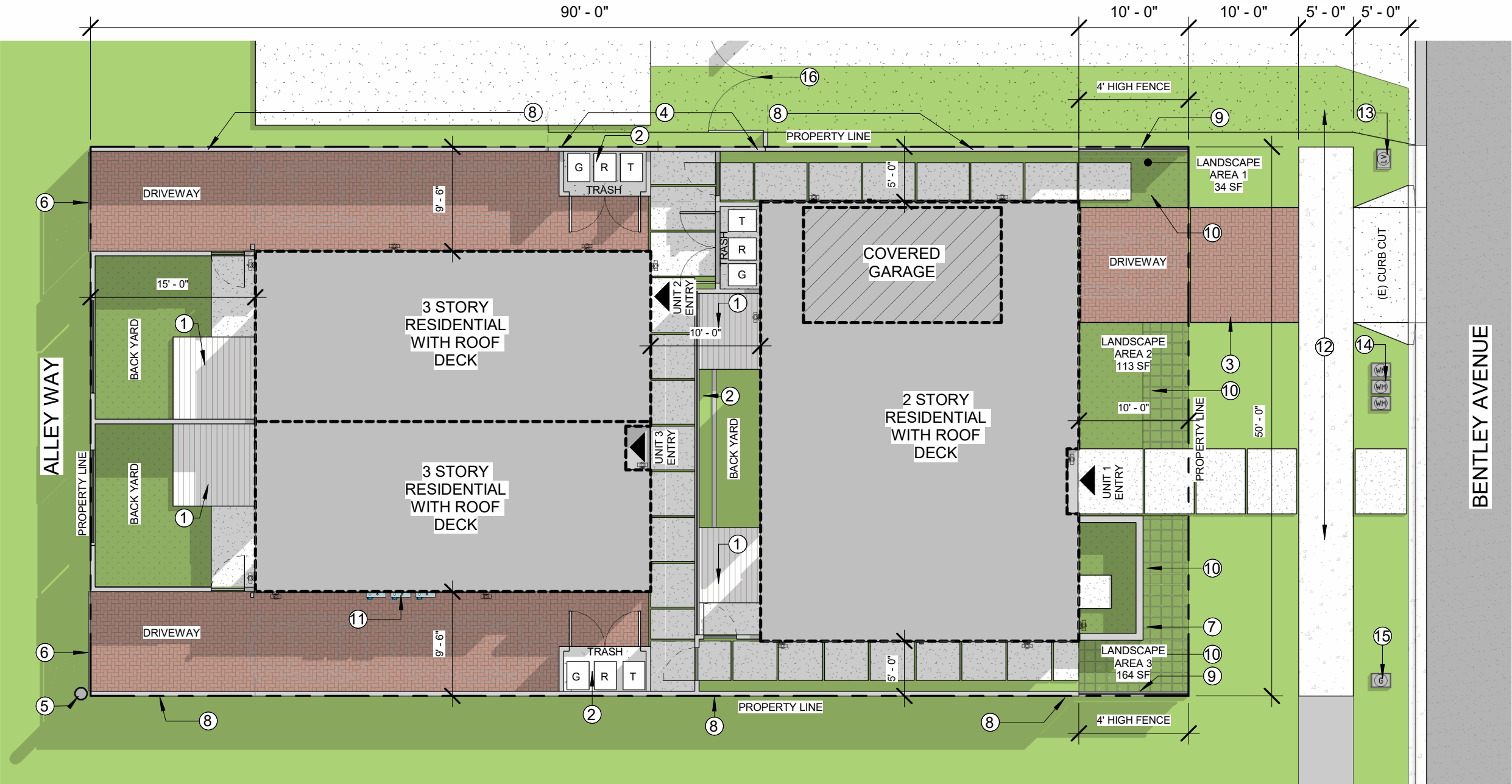



LOW GROVING GROUNDCOVER OVER GRASSPAVE SYSTEM




AGROSTIS PALLENS THINGRASS

KEYNOTES	
1	DECK
2	TRASH ENCLOSURE
3	DRIVEWAY
4	EXISTING CMU FENCE WALL TO REMAIN
5	EXISTING ELECTRICAL POLE
6	GATE
7	LOW WALL (30")
8	NEW CMU BOUNDARY WALL
9	NEW METAL FENCE 4' TALL
10	AREA FOR LANDSCAPING
11	NEW ELECTRICAL PANEL WITH INTEGRATED METER SOCKET
12	NEW 5 FEET WIDE SIDEWALK
13	IN GROUND LOW VOLTAGE BOX
14	NEW WATER METERS LOCATION
15	GAS MAIN
16	EXISTING GATE

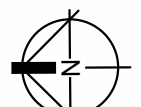





0' 5' 10' 20'



TRUE NORTH



PROJECT NORTH



ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE

3955 BENTLEY AVE

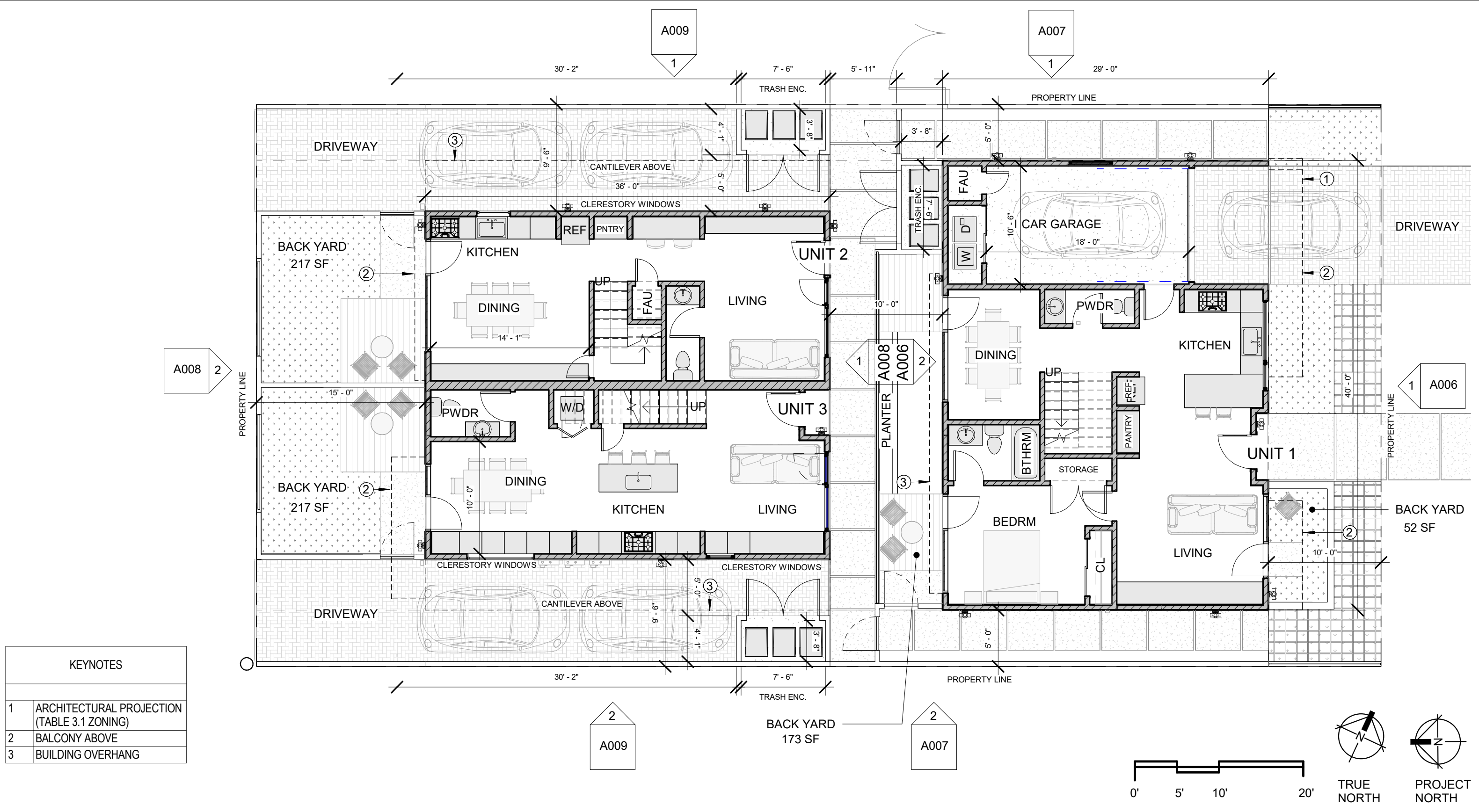
CULVER CITY, CA 90230

No.	Description	Date
1	PRELIMINARY PLAN REVIEW	1/15/25

SITE PLAN

Project number	2024-12-03	A001
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	

Scale As indicated



KEYNOTES	
1	ARCHITECTURAL PROJECTION (TABLE 3.1 ZONING)
2	BALCONY ABOVE
3	BUILDING OVERHANG

ASHOK KANAGASUNDARAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDARAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

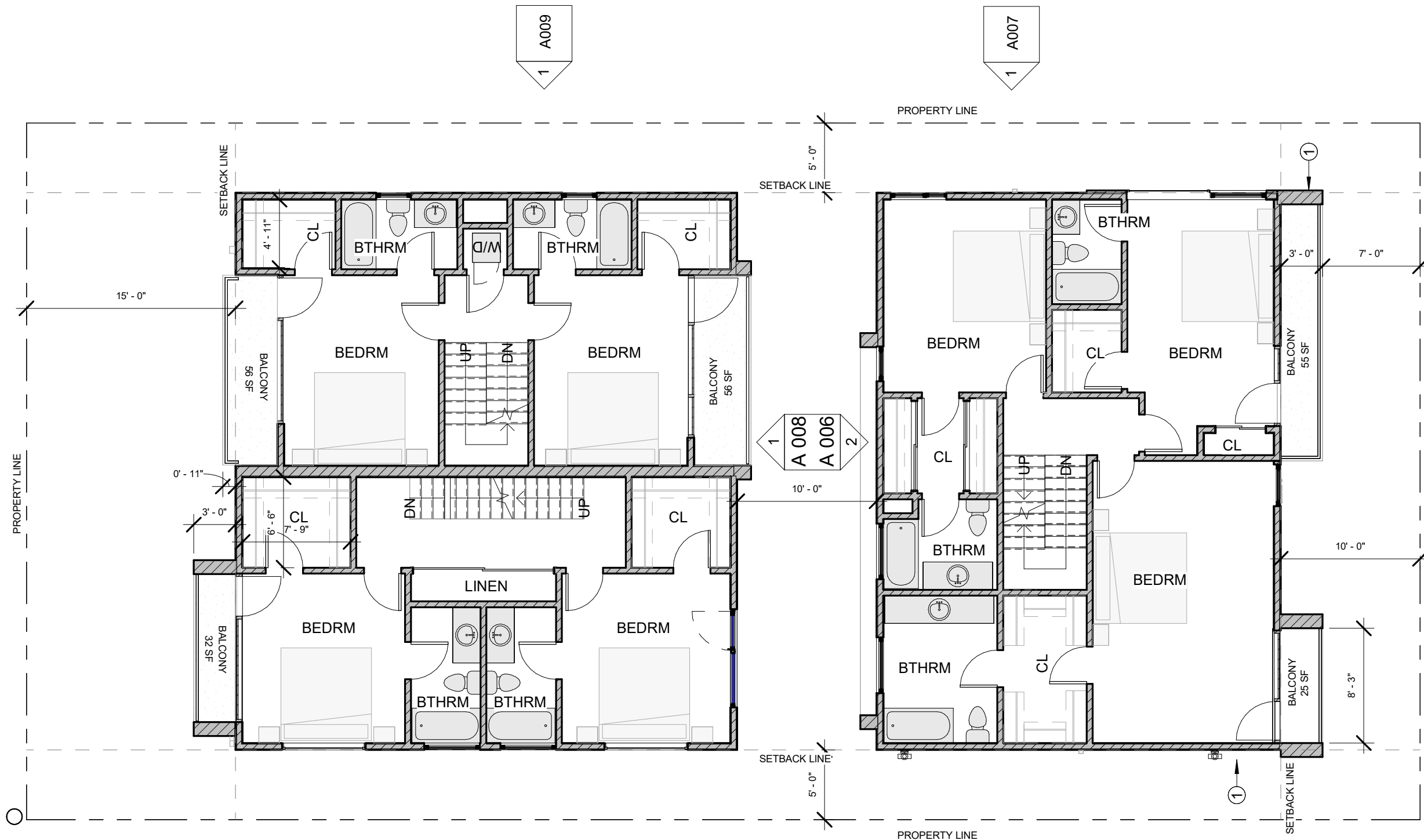
No.	Description	Date

FIRST FLOOR

Project number	2024-12-03
Date	03/03/25
Drawn by	Author
Checked by	Checker

A002

Scale 1/8" = 1'-0"



KEYNOTES	
1	ARCHITECTURAL PROJECTION (TABLE 3.1 ZONING)

0'

5'

10'

20'

TRUE NORTH

PROJECT NORTH

AK

ASHOK KANAGASUNDRAM ARCHITECT

6102 SUMMERTIME LANE. CULVER CITY, CA 90230

PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.

AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN

CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE

3955 BENTLEY AVE

CULVER CITY, CA 90230

No.	Description	Date

SECOND FLOOR PLAN

Project number2024-12-03

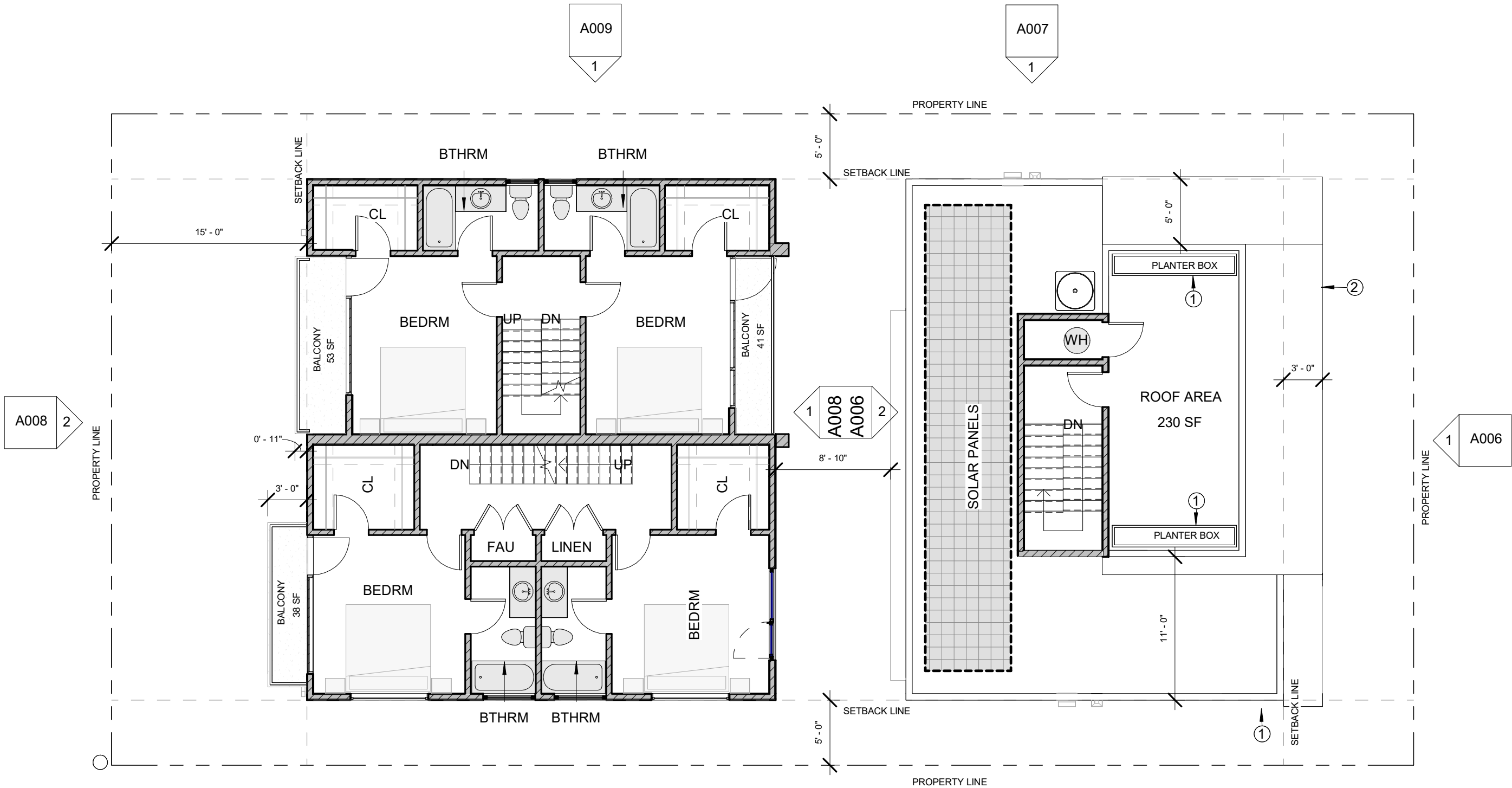
Date03/03/25

Drawn byAuthor

Checked byChecker

A003

Scale 1/8" = 1'-0"



KEYNOTES	
1	PLANTER BOXES
2	ARCHITECTURAL PROJECTION (TABLE 3.1 ZONING)

0'

5'

10'

20'

TRUE NORTH

PROJECT NORTH

AK

ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

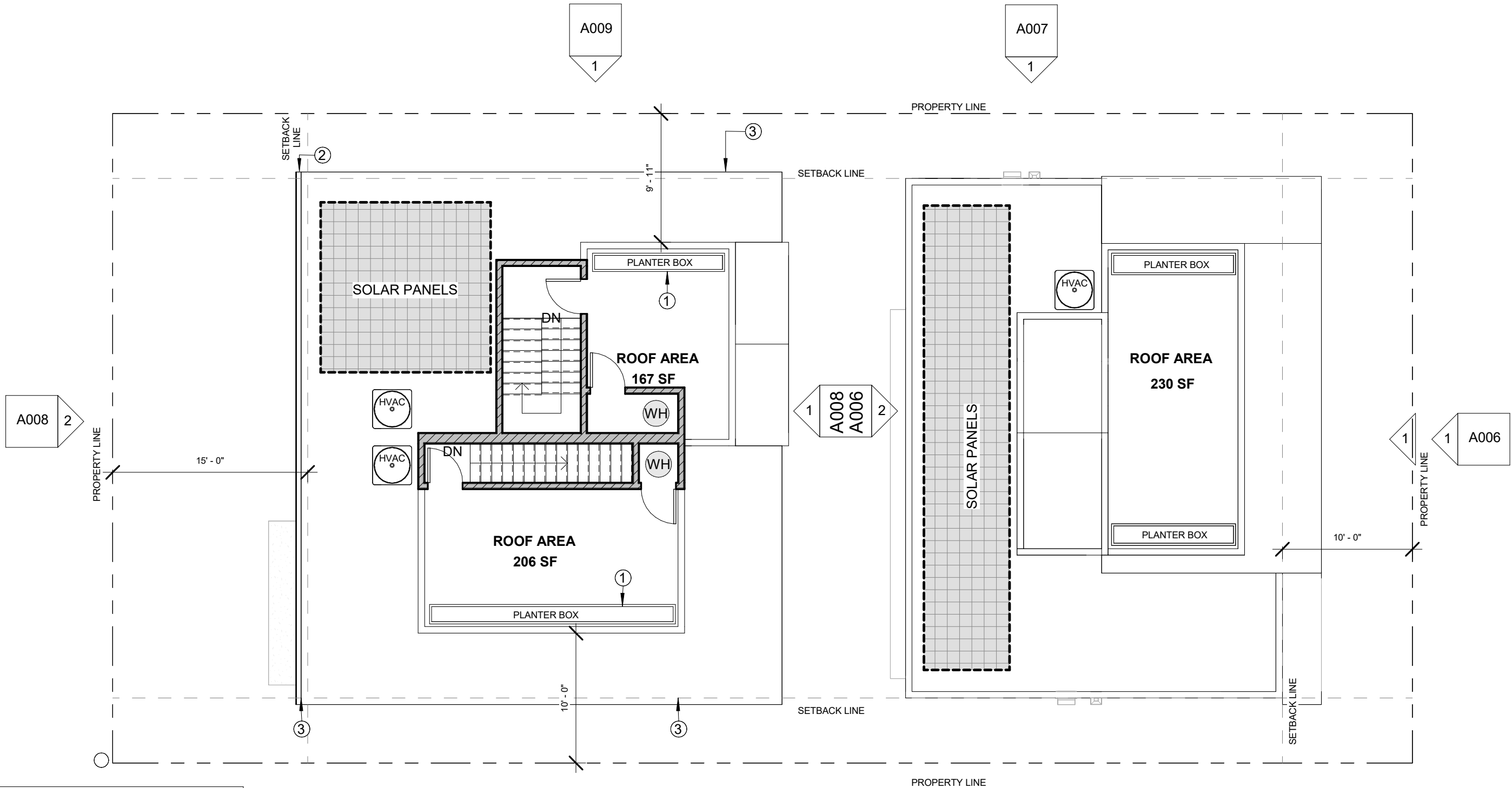
3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date

THIRD FLOOR

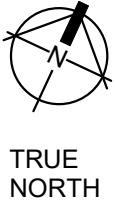
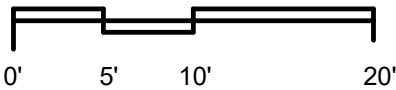
Project number2024-12-03
Date03/03/25
Drawn byAuthor
Checked byChecker

A004
Scale1/8" = 1'-0"



KEYNOTES

1	PLANTER BOXES
2	ROOF GUTTER AND DOWNSPOUT
3	ROOF EAVE



ASHOK KANAGASUNDARAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDARAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date

ROOF PLAN

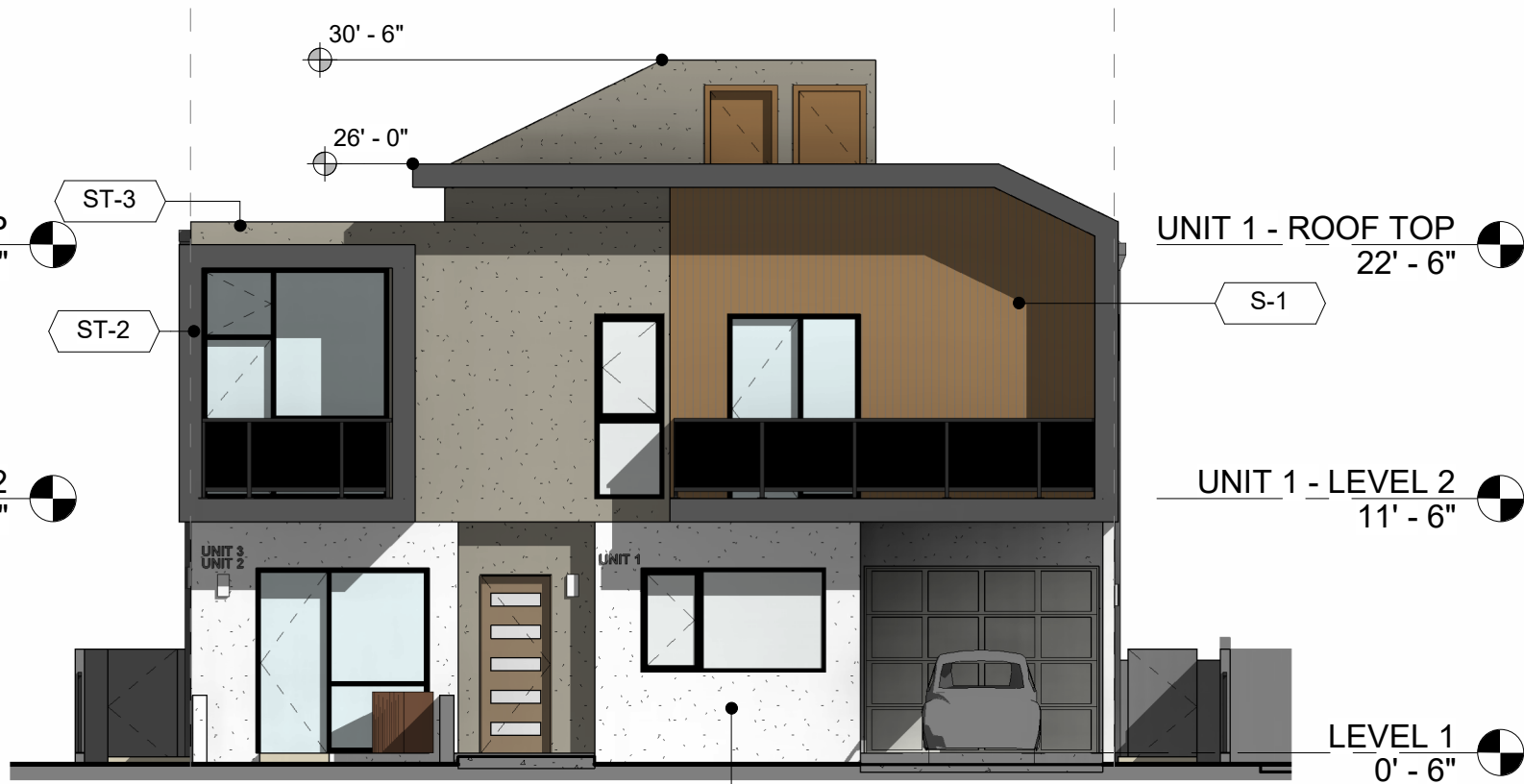
Project number	2024-12-03
Date	03/03/25
Drawn by	Author
Checked by	Checker

A005

Scale 1/8" = 1'-0"



2 FRONT UNIT (WEST ELEVATION)
1/8" = 1'-0"



1 FRONT UNIT (EAST ELEVATION)
1/8" = 1'-0"

ELEVATION MATERIALS

- ST-1 WHITE STUCCO
- ST-2 GRAY STUCCO
- ST-1 MESA VERDE STUCCO
- S-1 VINYL SIDING
- M-1 BLACK METAL RAILING WITH PERFORATED PANEL



ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

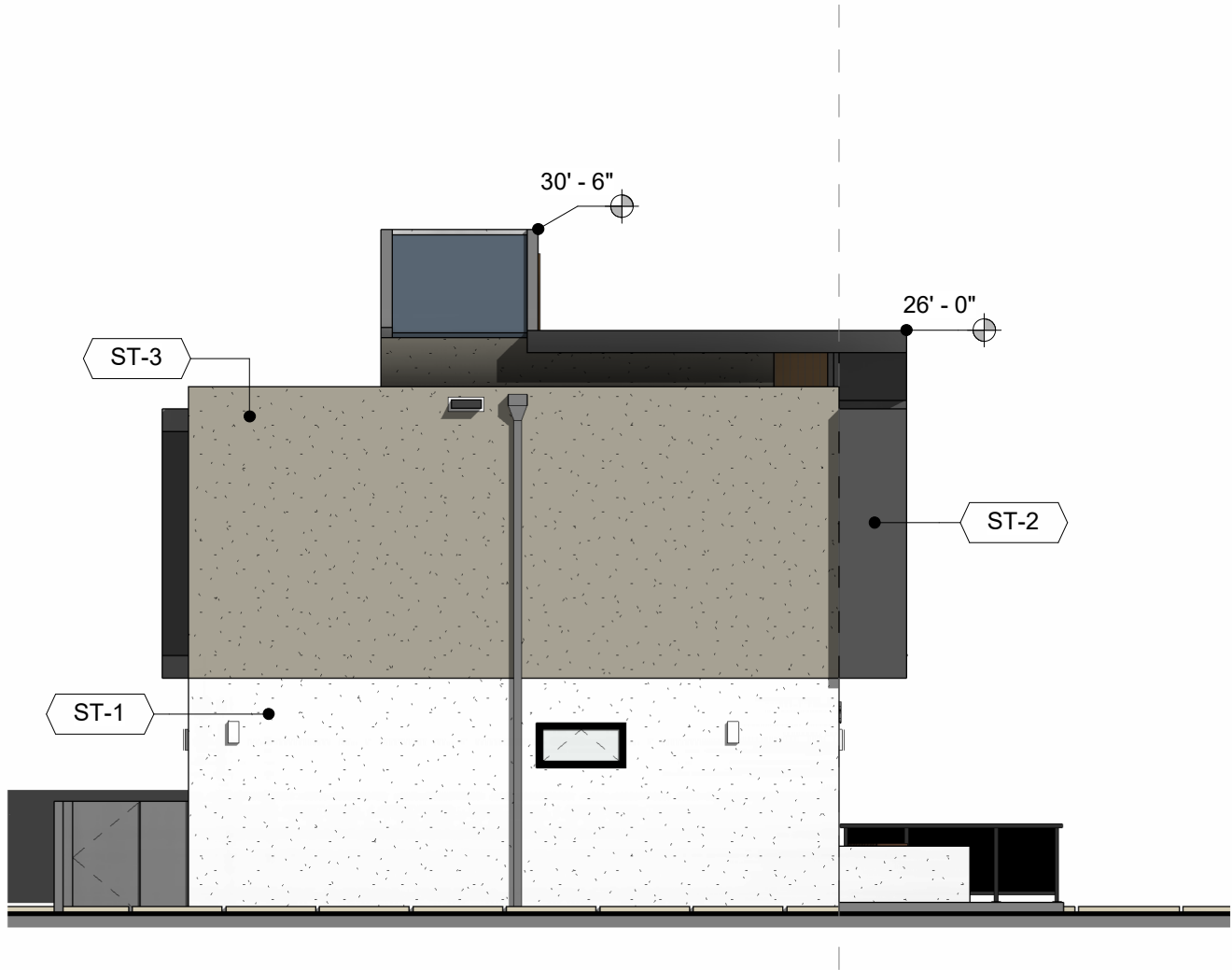
BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date

FRONT UNIT ELEVATIONS

Project number	2024-12-03	A006
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated

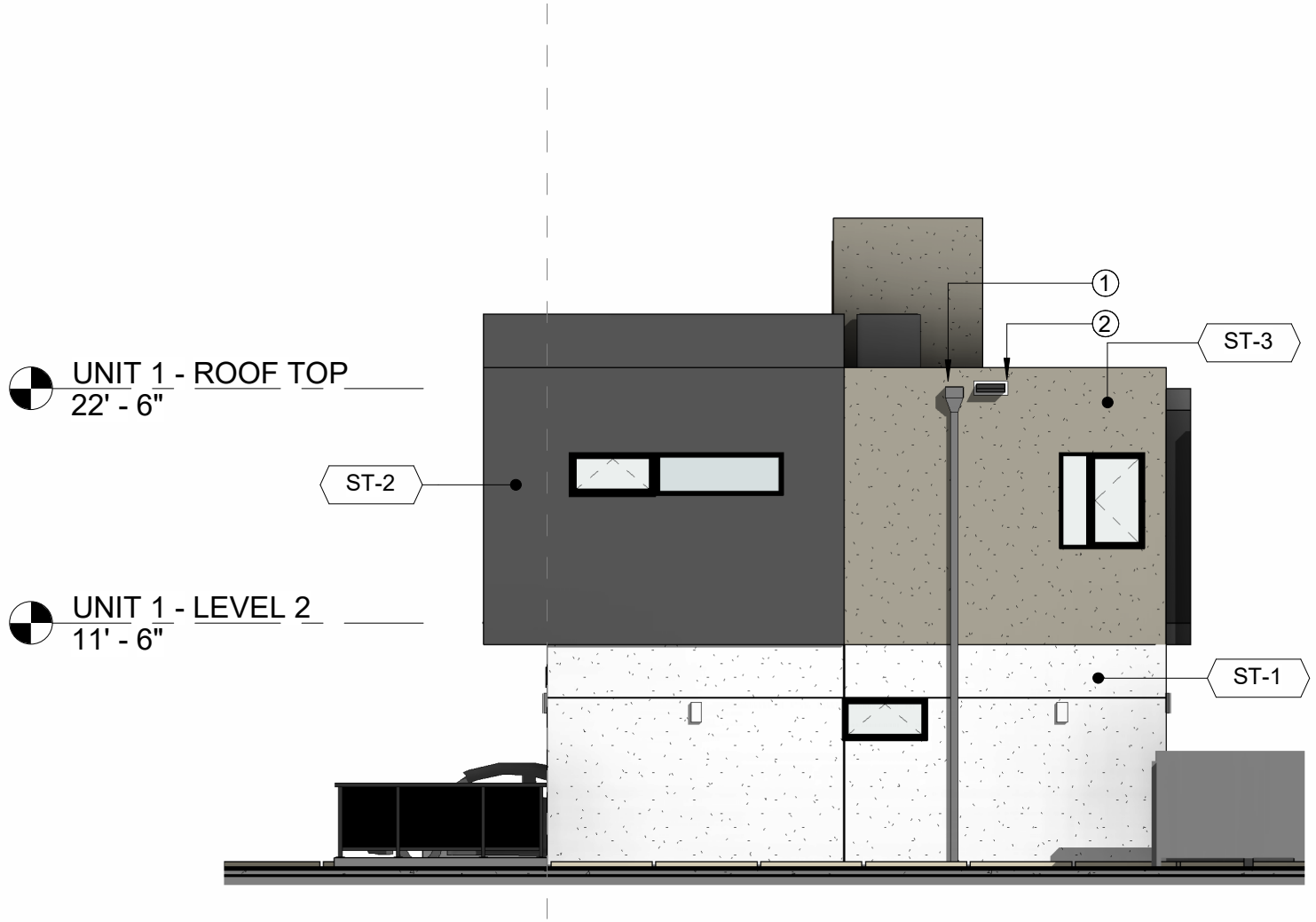


2 FRONT UNIT (SOUTH ELEVATION)
1/8" = 1'-0"

ELEVATION MATERIALS

ST-1	WHITE STUCCO
ST-2	GRAY STUCCO
ST-1	MESA VERDE STUCCO
S-1	VINYL SIDING
M-1	BLACK METAL RAILING WITH PERFORATED PANEL

KEYNOTES	
1	ROOF SCUPPER AND DOWNSPOUT
2	ROOF OVERFLOW SCUPPER



1 FRONT UNIT (NORTH SIDE ELEVATION)
1/8" = 1'-0"



ASHOK KANAGASUNDARAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDARAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date

FRONT UNIT ELEVATIONS

Project number	2024-12-03	A007
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	
		Scale As indicated



2 BACK UNIT (WEST ELEVATION)
1/8" = 1'-0"

1 BACK UNIT (EAST ELEVATION)
1/8" = 1'-0"

ELEVATION MATERIALS

ST-1	WHITE STUCCO
ST-2	GRAY STUCCO
ST-1	MESA VERDE STUCCO
S-1	VINYL SIDING
M-1	BLACK METAL RAILING WITH PERFORATED PANEL

KEYNOTES

1	ROOF GUTTER AND DOWNSPOUT
2	ARCHITECTURAL PROJECTION (TABLE 3.1 ZONING)



ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

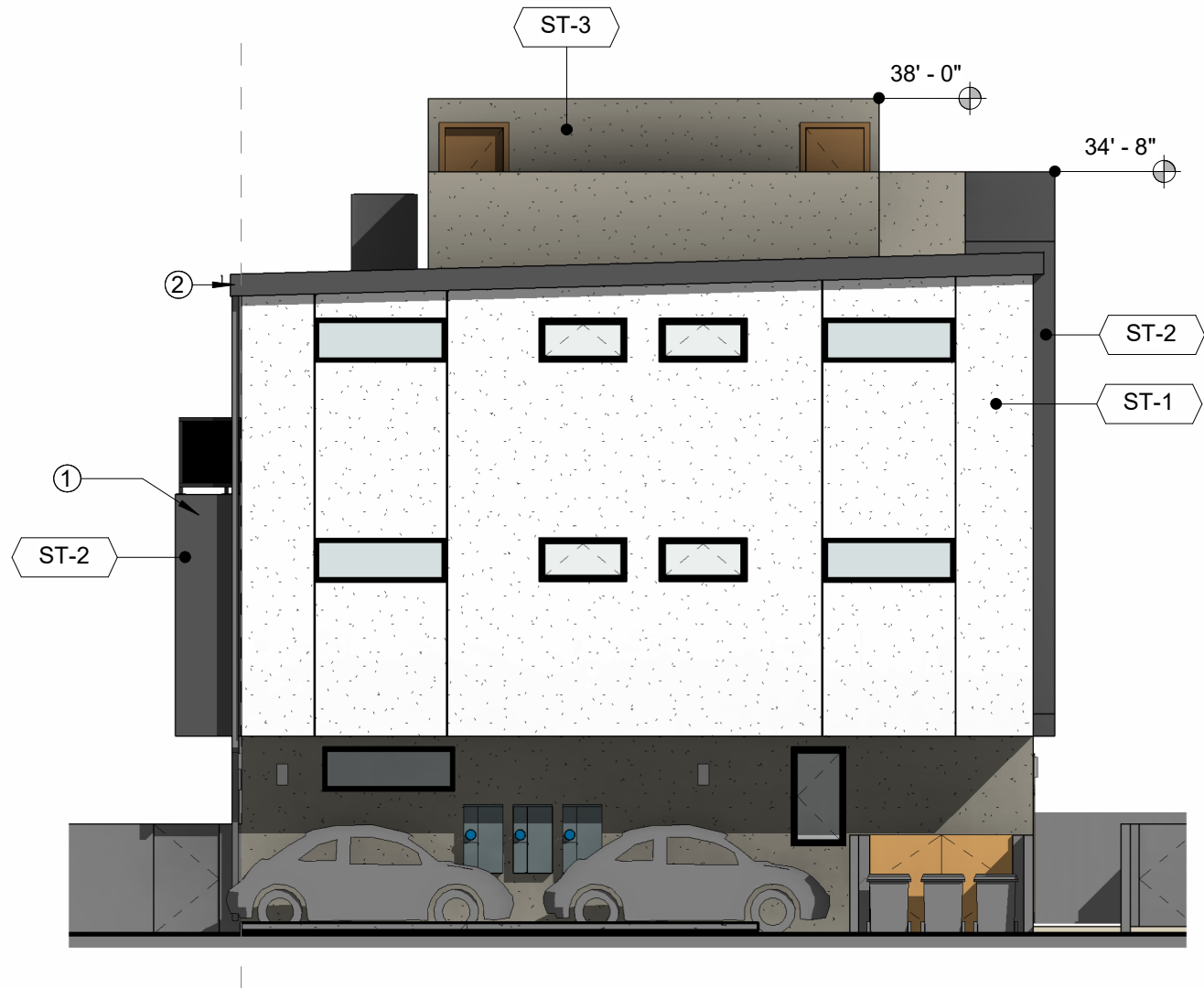
BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date

BACK UNIT ELEVATIONS

Project number	2024-12-03	A008
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	
Scale		As indicated

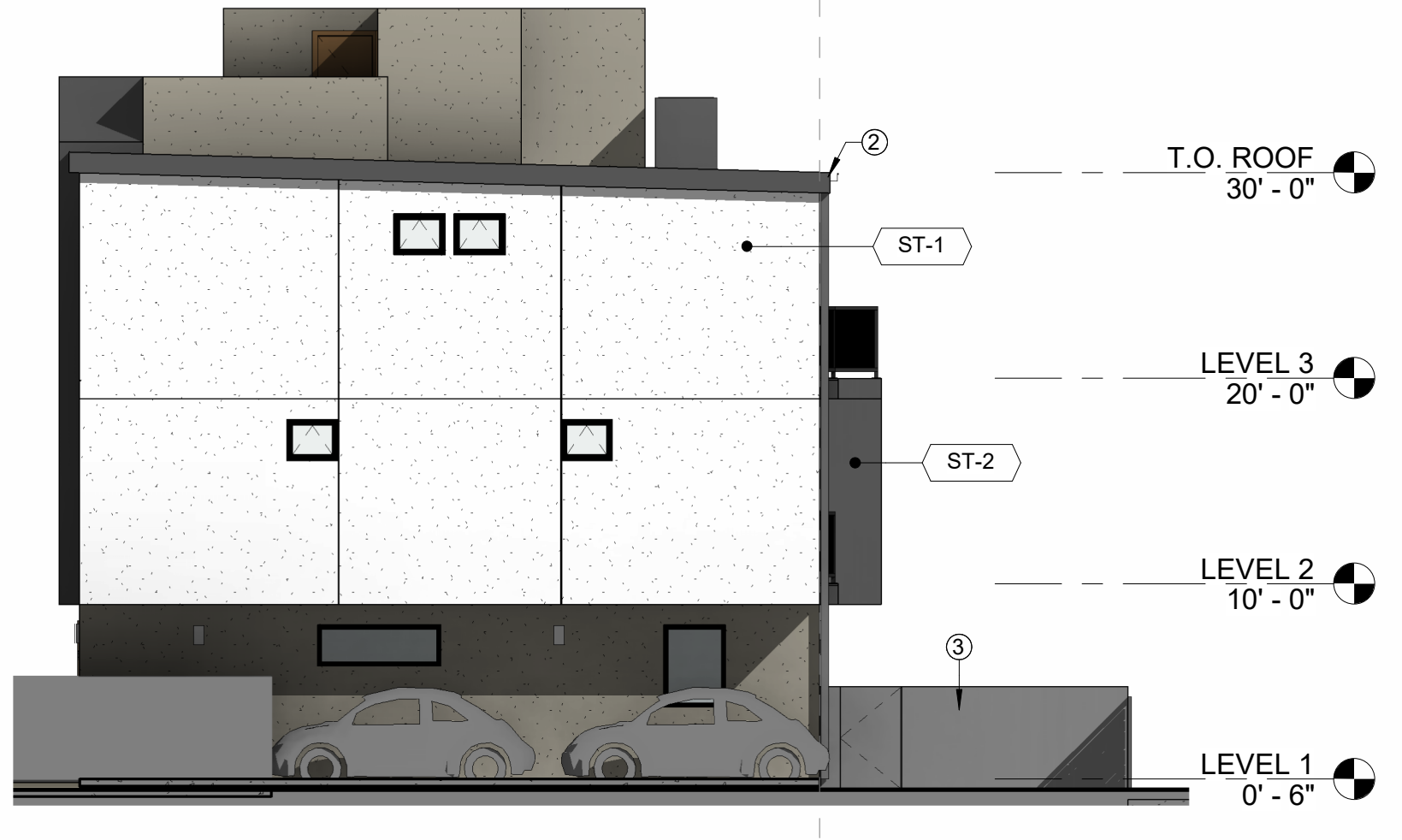


2 BACK UNIT (SOUTH ELEVATION)
1/8" = 1'-0"

ELEVATION MATERIALS

ST-1	WHITE STUCCO
ST-2	GRAY STUCCO
ST-1	MESA VERDE STUCCO
S-1	VINYL SIDING
M-1	BLACK METAL RAILING WITH PERFORATED PANEL

KEYNOTES	
1	ARCHITECTURAL PROJECTION (TABLE 3.1 ZONING)
2	ROOF GUTTER AND DOWNSPOUT
3	LOW WALL (5')



1 BACK UNIT (NORTH SIDE ELEVATION)
1/8" = 1'-0"



ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230

No.	Description	Date

BACK UNIT ELEVATIONS

Project number	2024-12-03	A009
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	
Scale		As indicated



ASHOK KANAGASUNDRAM ARCHITECT
6102 SUMMERTIME LANE. CULVER CITY, CA 90230
PHONE: (310) 367-3367 EMAIL: ASHOK.PK@GMAIL.COM

THIS DRAWING IS THE PROPERTY OF ASHOK KANAGASUNDRAM.
AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN
CONSENT. ALL RIGHTS RESERVED.

BENTLEY 100 LLC

**3955 BENTLEY AVE
3955 BENTLEY AVE
CULVER CITY, CA 90230**

No.	Description	Date

RENDERINGS

Project number	2024-12-03	A010
Date	03/03/25	
Drawn by	Author	
Checked by	Checker	
		Scale 12" = 1'-0"