



PLANNING AND DEVELOPMENT DEPT.
CURRENT PLANNING DIVISION

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April 23, 2025

Ashok Kanagasundram
6102 Summertime Lane
Culver City, CA 90230

NOTICE OF DECISION OF ADMINISTRATIVE SITE PLAN REVIEW P2025-0043-ASPR FOR CONSTRUCTION OF A FOUR-UNIT RESIDENTIAL DEVELOPMENT
4051 Sawtelle Boulevard, Low Density Multiple Family (RLD) Zone

Dear Ashok Kanagasundram:

This letter is to inform you that your application for Administrative Site Plan Review, P2025-0043-ASPR to construct a new four-unit apartment comprised of two duplexes on property located at 4051 Sawtelle Boulevard has been approved. A detailed project description, background, analysis, and public outreach summary are incorporated herein as Attachment 1. The approval is subject to the outlined conditions incorporated herein as Attachment 2.

This administrative decision may be appealed in accordance with Title 17, Section 17.640.030 Appeals, by any interested person within 15 calendar days of approval, by 5:30 PM. If no appeal is filed, the decision shall become final.

For any inquiries, please contact Narek Mkrtoumian, Planning Technician, at (310) 253-5714 or narek.mkrtoumian@culvercity.org.

Sincerely,

Mark E. Muenzer
Planning and Development Director

Enclosures:

1. Attachment 1 – Project Background, Analysis, and Findings
2. Attachment 2 – Conditions of Approval
3. Preliminary Development Plans received February 28, 2025

Copy:

Decision Letter Binder
Project Review Committee
Case File No. P2025-0043-ASPR

Attachment 1 - Project Background, Analysis, and Findings
Administrative Site Plan Review
4051 Sawtelle Blvd. – P2025-0043-ASPR

Background

On February 28, 2025, Ashok Kanagasundram (the “Applicant”) applied for an Administrative Site Plan Review to allow the development of a four-unit apartment building on a 6,455 square foot parcel at 4051 Sawtelle Boulevard (the “Project Site”) in the Low Density Multiple Family (RLD) Zone. Pursuant to Culver City Municipal Code (CCMC) Section 17.540.010, Site Plan Review – Applicability, review and approval of an ASPR is required for construction of a new residential project of three or more units, subject to compliance with all applicable standards, required findings per CCMC Section 17.540.020 – Findings and Decision, and conditions of approval.

Site Description

The Project Site is located on the south side of Sawtelle Boulevard east of Washington Boulevard. The property is generally flat in topography and rectangular in shape, measuring approximately 53 feet wide and 120 feet long for a total gross area of 6,455 square feet. The Site is currently developed with a 1,151 square foot single-story single-family residential structure with detached two-car garage.

Surrounding Area/General Plan/Zoning

The Project Site is in an urbanized area surrounded by a mix of duplex, triplex, and other multi-family uses with some single-family homes in the area. The surrounding neighborhood consists of largely rectangular parcels that are similar in size. The City’s General Plan Land Use Element designates the site as Low Density Multiple Family and the site is zoned Low Density Multiple-Family Residential (RLD).

Table 1: Surrounding Zoning and Land Use

Location	Zoning	Land Use
North	RLD	Duplex
East	RLD	Single-Family
South	R1	Single-Family
West	RLD	Single-Family

Project Description

The proposed development features four residential units designed as two duplex structures on a 6,455-square-foot lot within the RLD zoning district. Architectural details include cantilevered elements and exterior finishes in white, gray, and Mesa Verde (pale green) stucco. Both structures are three stories with a maximum height of 32 feet, the buildings maintain 10-foot front and rear setbacks and 5-foot side yard setbacks. Each unit varies in size but features four bedroom and four and a half bathrooms per unit. To ensure privacy, minimal openings have been incorporated on the north and south elevations. The project’s units will be market-rate.

A rooftop deck with integrated planters provides residents with private outdoor space while creating natural screening for enhanced privacy. The strategic placement of balconies—oriented toward the street and rear yard—minimizes direct sightlines to adjacent properties, maintaining neighbor privacy while still offering outdoor living areas. Sustainable features include rooftop solar panels and dedicated bicycle storage.

Traffic, Parking, Circulation

Parking includes six covered spaces and one carport. On-site circulation and parking garage design meet CCMC standards, ensuring safe maneuvering and minimized risks to pedestrians and vehicles. The driveways are designed to provide clear sightlines between pedestrians and vehicles and adequate drive aisle space, ensuring vehicles can exit the site in a forward-facing direction.

Open Space and Landscaping

The project complies with open space requirements by allocating 150 square feet per unit, with 60 square feet designated as private outdoor space. The preliminary landscape plans emphasize sustainability with native, drought-tolerant, and low-water-use plantings. Landscaping covers a minimum of 294 square feet, achieving 55% coverage in the front yard, which enhances both aesthetic appeal and environmental efficiency.

SB 330/SB 8 Compliance

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project ("Project") on a site ("Property") that will require demolition of existing dwelling units or occupied or vacant "Protected Units" unless the Project replaces those units as specified in the law. Owner occupied residences are not "Protected Units". The Property is occupied by one single family residence that was most recently owner occupied but is now vacant pending the proposed Project approval. The City's Housing Authority determined that the subject property is exempt from SB 330 and SB 8 based on current City records and applicant testimony.

Environmental Determination

The proposed Project is considered exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 3 – New Construction or Conversion of Small Structures, as it involves the construction of no more than four dwelling units in an urbanized area.

Public Outreach

Two community meetings were held for this project, with the first occurring on November 26, 2024; residents expressed concerns about balcony placements and the rooftop deck design. By the second meeting on March 31, 2025, the applicant had revised the plans to address these issues by removing balconies facing adjacent properties and relocating them to the front along Sawtelle Boulevard and rear portions of the building. The rooftop deck was modified to include planters that provide additional privacy screening.

On April 3, 2025, notification of the pending administrative decision and an invitation to provide comment was sent to property owners and occupants adjacent to the Project Site. The public comment period closed on April 21, 2025. The City received no comments from the public regarding the subject project.

Findings:

As outlined in CCMC Title 17, Section 17.540.020, the following required findings for an Administrative Site Plan Review are hereby made:

- 1. Project does not have a specific, adverse impact on public health or safety. A "specific**

adverse impact" means a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions in existence on date application was deemed complete.

Based on the proposed scope of work and preliminary plans, the project is not expected to have a specific, adverse impact on public health or safety, as defined by a significant, quantifiable, direct, and unavoidable effect under applicable standards. The applicant has committed to submitting a Comprehensive Construction Management Plan (CMP) that will include all required mitigation measures for pedestrian safety, traffic control, pest abatement, waste management, and site logistics prior to permit issuance. Since these standard protections will be implemented through the forthcoming CMP, no unavoidable adverse impacts are anticipated.

- 2. The project is consistent with the purpose and intent of this Chapter, the requirements of the zoning district in which the site is located, and with all applicable development and objective design standards, as existed on the date the application was deemed complete.**

The proposed four-unit apartment building at 4051 Sawtelle Boulevard (6,455 sq ft) complies with RLD zoning, which allows up to six units (35 dwelling units/acre). The project complies with all applicable zoning standards, including density, setbacks, height, and objective design criteria in effect when the application was deemed complete. The development aligns with the purpose and intent of the zoning code, ensuring it meets all necessary development standards for approval.

- 3. The proposed project is consistent with the General Plan and any applicable specific plan.**

The proposed four-unit residential development will not result in significant impacts on surrounding uses and is consistent with the General Plan's goals and policies. The project will add three net new units at a density compatible with the Low-Density Multiple Family designation, which permits single-family homes, duplexes, and multifamily residences. Furthermore, the addition of three net new units will count toward meeting the Regional Housing Needs Assessment (RHNA) allocation of market rate units for Culver City and will be consistent with Objective 2 of the Housing Element, which encourages opportunities for developing a variety of housing types while protecting the character and stability of existing neighborhoods. There is no applicable Specific Plan for this area.

- 4. The existing or proposed public facilities necessary to accommodate the proposed project (e.g., fire protection devices, parkways, public utilities, sewers, sidewalks, storm drains, street lights, traffic control devices, and the width and pavement of adjoining streets and alleys) will be available to serve the subject site.**

The project site is situated within a developed urban neighborhood, currently occupied by a single-family residence. All essential public infrastructure and services are already available to serve the property. As part of the project approval, required street improvements including new curb and gutter will be constructed along the adjacent right-of-way. The City's interdepartmental review has confirmed that existing and planned public facilities - including roadways, utilities, drainage systems, pedestrian infrastructure, and emergency services - are fully adequate to support the proposed development.

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
GENERAL				
1.	Street trees, tree wells, and irrigation shall be installed, to the satisfaction of the City Engineer and Current Planning Manager, in conformity with the City's approved Urban Forest Master Plan, and where appropriate, the Washington National TOD Oriented Street scape plan. All new (and existing) street trees shall be supplied with irrigation water from the overall site irrigation system which shall include a timer and a rain sensor. All new (and existing) street trees, landscaping, and irrigation shall be indicated on the overall site landscaping/irrigation plan. In residential areas, all new off-site landscaping shall conform to the City's Residential Parkway Guidelines.	Public Works/ Planning	Standard	
2.	At the sole cost and expense of the Property Owner, any curbs, gutters, sidewalks, streetlights, street light wires and conduits, traffic signal equipment, street pavement, and any other City infrastructure which are damaged or broken from construction of the Project shall be repaired and reconstructed in conformity with APWA Standards and to the satisfaction of the City Engineer.	Public Works	Standard	
3.	Drainage devices, concrete curb and gutter, sidewalk, and drive approach, roadway pavement shall be designed to the latest edition of the American Public Works Association (APWA) Standard Plans.	Public Works	Standard	
4.	The applicant shall provide a geotechnical report from a State licensed geotechnical engineer, as part of the Site Improvement Plan, reporting on the suitability of the onsite soils to support the proposed construction. The report shall also include a liquefaction analysis and a determination of the adequate pavement and base requirements for the drive aisles and parking areas. The report shall also identify any special considerations necessary to satisfy California Building Code requirements.	Public Works	Standard	
5.	On-site improvement plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting. Among other things, the	Public Works	Standard	

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GENERAL				
	on-site improvement plans shall include detailed on-site drainage and grading of the site indicated by topographical lines and spot elevations. This plan shall be approved for on-site construction only.			
6.	The project shall be subject to Holiday Moratorium dates as required by the December 17, 2009 Public Works/Engineering Holiday Slowdown Policy memo, in which work in the public right-of-way is restricted or prohibited on certain days in November and December.	Public Works	Standard	
7.	Fire sprinkler main lines shall not be allowed to discharge into the public right-of-way, and they shall discharge into the sanitary sewer system.	Public Works	Standard	
8.	All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 – “Solid Waste Management”, which outlines the Sanitation Division’s exclusive franchise for this service. The project shall provide adequate trash and recycling capacity and shall comply with Assembly Bills 939, 1826, and 341 waste diversion goals.	Public Works	Standard	
9.	All buildings and structures to be constructed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City’s Building Code, Fire Code and any related codes as determined by the Building Official and Fire Marshal; and all other applicable provisions of the CCMC which are adopted and in effect at the time of complete building permit application submittal.	All Depts	Standard	
10.	Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – “Changes to an Approved Project”.	Current Planning	Standard	
11.	Each dwelling unit shall be equipped with its own individual gas, water, and electrical meter.	Current Planning	Standard	
12.	Backflow preventors and/or any other fire apparatus shall be placed on private property.	All Depts	Standard	
13.	Common use easements (or general common access easement agreements) shall be secured to ensure all parcels or lots within the Project have necessary vehicular, pedestrian, and utility	Current Planning	Standard	

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GENERAL				
	drainage, and sewage access to public rights-of-way and City and utility main lines.			
14.	The applicant shall provide a NFPA 13d fire sprinkler system per CCMC 9.02 and the 2019 California Fire Code Chapter 9.	Community Risk Reduction	Standard	
15.	The applicant shall ensure that water meter and main line service to the building shall meet the minimum requirement of 1" to ensure the hydraulic calculations for the fire sprinkler system.	Community Risk Reduction	Standard	
16.	The applicant shall install a fire sprinkler system in both new and existing portions of the building per CCMC 9.02.	Community Risk Reduction	Standard	
17.	The applicant shall provide KNOX box with keys for all common doors and gates.	Community Risk Reduction	Standard	
18.	The applicant shall provide addresses viewable and legible from the public way. Size and font shall meet Fire and Building Code requirements.	Community Risk Reduction	Standard	
19.	The applicant shall provide a smoother surface from street to units and parking area for use of gurneys.	Community Risk Reduction	Standard	
20.	The applicant shall provide an ALTA survey topographical map showing the existing structures on the lot and the lot lines. The map shall also show the existing street trees, parking meters, parking tees, pull boxes (if any), etc.	Public Works Engineering	Standard	
21.	All existing driveway approaches which will no longer be necessary due to this project shall be removed and replaced with full height sidewalk, parkway, and curb and gutter.	Public Works Engineering	Standard	
22.	The applicant shall replace with full concrete panel pavement all utility cuts in concrete street paving.	Public Works Engineering	Standard	
23.	The formal application shall include a preliminary drainage plan.	Public Works Engineering	Standard	
24.	Any construction work in the public right-of-way requires the issuance of an encroachment permit from the Public Works Department including traffic control plan consistent with the CA MUTCD.	Public Works Mobility	Standard	

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PRIOR TO DEMOLITION PERMIT ISSUANCE				
25.	A covenant and agreement, on a form provided by the Current Planning Division and the City Attorney, acknowledging and agreeing to comply with all terms and conditions established herein, shall be signed by the Property Owner and recorded in the County Recorder's Office. The covenant and agreement shall run with the land and shall be binding on any subsequent owners, and tenants or occupants of the Property. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Current Planning Division.	Current Planning/ City Attorney	Standard	
26.	The Applicant and/or Property Owner shall indemnify, hold harmless and defend (at the Applicant's and Property Owner's sole cost and expense, with legal counsel approved by the City in its sole discretion) the City, its elected and appointed officials, officers, employees, agents, contractors and consultants from and against any and all claims, lawsuits, judgments, liability, injury or damage arising from or in any manner connected to any and all permits or approvals relating to the Project, including without limitation associated and reasonably incurred attorneys' fees and court and litigation costs arising out of the defense of any such claims and/or lawsuits, and actual attorneys' fees and court and litigation costs that may be awarded by the court and required to be paid by the City. The obligations required by this Condition shall be set forth in a written instrument in form and substance approved by the City Attorney and signed by the Applicant and Property Owner.	City Attorney	Standard	
27.	A Comprehensive Construction Management Plan (CMP) shall be submitted to Building & Safety as part of the Building Permit plan check approval process and shall be approved prior to issuance of the Demolition and / or Building Permit. The comprehensive CMP shall include all plans specified in the conditions of approval. In addition, the plan will identify the areas of construction staging, temporary power, portable toilet, and trash and material storage locations. The CMP shall show all areas of the public right-of-way which may be affected by the	All Depts	Standard	

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	<p>construction of the project. Unless otherwise approved by the Public Works Director, sidewalk access shall be maintained at all times along the project's frontage.</p> <p>In addition to the above, the CMP shall include the following components:</p> <p>a. <u>Pedestrian Protection Plan</u> shall identify all areas of pedestrian protection and indicate the method of pedestrian protection or pedestrian diversion when required. When pedestrian diversion is required, the Pedestrian Protection Plan must also be approved by the City Engineer.</p> <p>b. <u>a Construction Traffic Management Plan</u> shall be prepared by a traffic or civil engineer registered in the State of California. The Construction Traffic Management Plan shall be reviewed and approved by the City Engineer and Current Planning Manager prior to the issuance of any Project demolition, grading, or excavation permit. The Construction Traffic Management Plan shall also be reviewed and approved by the City's Fire and Police Departments. The City Engineer and Current Planning Manager reserve the right to reject any engineer at any time and to require that the Plan be prepared by a different engineer. The Construction Traffic Management Plan shall contain, but not be limited to, the following:</p> <p>A. The name and telephone number of a contact person who can be reached 24 hours a day regarding construction traffic complaints or emergency situations.</p> <p>B. An up-to-date list of local police, fire, and emergency response organizations and procedures for the continuous coordination of construction activity, potential delays, and any alerts related to unanticipated road conditions or delays, with local police, fire, and emergency response agencies. Coordination shall include the assessment of any alternative access routes that might be required through the Property, and maps showing access to and within the Property and to adjacent properties.</p>			

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	<p>C. Procedures for the training and certification of the flag persons used in implementation of the Construction Traffic Management Plan. Flag persons with certified training shall be provided for work site traffic control to minimize impacts to traffic flow and to ensure the safe movement of vehicles into and out of the Property.</p> <p>D. The location, times, and estimated duration of any roadway closures, traffic detours, use of protective devices, warning signs, and staging or queuing areas.</p> <p>E. The location and travel routes of off-site staging and parking locations.</p> <p>F. Estimated number of trucks per hour for dirt hauling, concrete pouring, deliveries, etc.</p> <p>c. <u>a Demolition Debris Recycling Plan</u> shall list the material to be recycled and the name, address, and phone number of the facility of organization accepting the materials. Reasonable efforts shall be used to reuse and recycle construction and demolition debris, to use environmentally friendly materials, and to provide energy efficient buildings, equipment, and systems.</p> <p>d. <u>a vector/pest control abatement plan</u> prepared by a pest control specialist licensed or certified by the State of California shall outline all steps to be taken prior to the commencement of any demolition or construction activity in order to ensure that any and all pests (including, but not limited to, rodents, bees, ants and mosquitoes) that may populate the Property do not relocate to or impact adjoining properties.</p> <p>e. The CMP shall address implementation of the following <u>measures during construction</u>:</p> <p>i Foundation Shoring Plan demonstrating use of noise dampening design methods.</p> <p>ii Construction Rules Sign that includes contact names and telephone numbers.</p>			

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NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO DEMOLITION PERMIT ISSUANCE				
	iii Daily maintenance of construction site. iv Dust control by regular watering. v Construction worker and contractor offsite parking. vi Staging and storage of construction equipment on-site only. vii Compliance with noise standards. f. <u>Foundation shoring and/or foundation piles.</u> When foundation shoring and/or foundation piles will be part of the Project, the engineer of record shall specify use of noise dampening measures such as the drilling of shoring supports and piles as determined by the Building Official and Current Planning Manager, which shall be incorporated in project plans.			
28.	The CMP should show truck routes to and from the site. Stay away from residential areas as much as possible and use primary arterials.	Public Works	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO GRADING / BUILDING PERMIT ISSUANCE				
29.	A minimum of two sets of final landscaping and irrigation plans (separate from the plans submitted for the building permit) shall be submitted to the Current Planning Division for review and approval.	Current Planning	Standard	
30.	Prior to the issuance of a building permit, the applicant shall obtain the approval of the City's Environmental Programs and Operations Manager for the size, location, and type of equipment needed for the adequate storage and disposal of all solid and recyclable waste generated by the project.	Public Works Environmental Programs and Operations	Standard	
31.	Prior to issuance of a building permit, notice of the Project construction schedule and CCMC 3307 shall be provided to all abutting property owners and occupants within 100 feet of the site. An affidavit of	Building	Standard	

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PRIOR TO GRADING / BUILDING PERMIT ISSUANCE				
	such notification shall be provided to the Building Division (building.safety@culvercity.org). The notice shall identify the commencement date and proposed timing for all construction phases (demolition, grading, excavation/shoring, foundation, rough frame, plumbing, roofing, mechanical and electrical, and exterior finish).			
32.	<p>a. The applicant, including the on-site construction superintendent, shall attend a pre-construction meeting with all reviewing City departments and/or divisions, organized by Building Safety, in order to review all project conditions of approval.</p> <p>b. Prior to commencement of work the construction contractor shall advise the Public Works Inspector on-site ("Inspectors") of the construction schedule and shall meet with the Inspectors.</p>	All Depts	Standard	
33.	The applicant shall landscape the parkway with drought tolerant plants according to the City's parkway planting guidelines. Off-site landscape plans to be submitted to Engineering Division for review and approval prior to Building Permit Issuance.	Public Works	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
DURING CONSTRUCTION				
34.	Removal of any street trees is prohibited. If street trees are removed for any reason, they shall be replaced at 2:1 ratio.	Public Works	Standard	
35.	During all phases of construction, a "Construction Rules Sign" that includes contact names and telephone numbers of the Developer, Property Owner, construction contractor(s), and the City, shall be posted on the Property in a location that is visible to the public. These names and telephone numbers shall also be made available to adjacent property owners and occupants to the satisfaction of the Current Planning Manager and Building Official.	Building/ Current Planning	Standard	
36.	During construction, pedestrian access along the project's frontage shall be maintained at all times.	Public Works	Standard	

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DURING CONSTRUCTION				
37.	During construction, the Property shall be maintained daily so that it is free of trash and litter.	Building	Standard	
38.	During construction, dust shall be controlled by regular watering or other methods as determined by the Building Inspector.	Building/ Public Works	Standard	
39.	<p>The Building Division may apply administrative assessments and/ or post general stop work notices for any violations of the Conditions of Approval for the Project, and any violations of the CCMC.</p> <p>In the event three citations are issued in connection with the Project for violations of these Conditions of Approval or for other violations of the CCMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the CCMC.</p>	Building	Standard	
40.	During all phases of construction, all construction workers, contractors, and others involved with the Project shall park on the Property or at designated offsite locations approved by the City, and not in the surrounding neighborhood.	Building/ Current Planning/ Public Works	Standard	
41.	Prior to the commencement of any excavation, a temporary construction fence with wind screen shall be installed around the site. The wind screen may be omitted for drivers line of sight. The height and fence material are subject to approval by the City Engineer and the Current Planning Manager. The site fence location shall be identified on the Demolition plan.	Building/ Current Planning/ Public Works	Standard	
42.	<p>Hours of construction shall be limited to the following: 8:00 AM to 8:00 PM Monday through Friday; 9:00 AM to 7:00 PM Saturday; and 10:00 AM to 7:00 PM Sunday and National holidays.</p> <p>Dirt hauling and construction material deliveries or removal are prohibited during the morning (7:00 AM to 9:00 AM) and afternoon (4:00 PM to 6:00 PM) peak traffic periods. All construction workers shall be respectful of the surrounding neighborhood and keep</p>	Building/ Public Works	Standard	

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DURING CONSTRUCTION				
	non-construction related noise to a minimum prior to, during, and after permissible construction hours.			
43.	All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.	Building/ Public Works	Standard	
44.	<p>Compliance with the following noise standards shall be required with at all times:</p> <p>A. No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment,</p> <p>B. All construction equipment shall be properly maintained to minimize noise emissions,</p> <p>C. If any construction vehicles are serviced at a location onsite, the vehicle(s) shall be setback from any street and other property lines so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors;</p> <p>D. Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Current Planning Manager and the Building Official in order to comply with the City's Noise Regulations and Standards as set forth in CCMC Chapter 9.07; and</p> <p>E. Stationary source equipment (i.e., compressors) shall be located so as to maintain the greatest distance from the public right-of-way and from Noise Sensitive Receptors.</p>	Building/ Current Planning	Standard	
45.	Construction vehicles shall not be permitted to stage or queue where they would interfere with vehicular and pedestrian traffic or block access to adjacent properties. During construction, trucks and other	Building/ Public Works	Standard	

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DURING CONSTRUCTION				
	vehicles in loading and unloading queues must be parked with their engines off to reduce vehicle emissions. Construction deliveries shall be phased and scheduled to avoid emissions peaks as determined by the Building Official and discontinued during second-stage smog alerts. Off-site staging shall be at locations approved by the City Engineer and shall be of sufficient length to accommodate large trucks without being unduly disruptive to traffic operations. The drivers of these trucks shall be in radio or phone communication with on-site personnel who shall advise the drivers when to proceed from the staging location to the Property. Construction-related vehicles shall not be permitted to park on public streets except along the frontage of the construction site and shall be approved by the City Engineer.			
	If existing streetlights are to be disabled for any reason, then temporary streetlights will need to be activated. Temporary street lighting shall be approved by the Public Works Inspector prior to installation.	Public Works	Standard	
46.	Project shall remove and replace all curb, gutter, and sidewalk. All new sidewalks shall be ADA compliant.	Public Works	Standard	
47.	The project shall replace any parking meters, signs and posts, signal poles, and any other traffic and parking control devices within the public right-of-way if damaged by the project construction.	Public Works Mobility	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION				
48.	All onsite and offsite improvements and all conditions of approval except those which are deferred pursuant to a bond or letter of credit as determined and approved by the Building Official, Fire Marshal, Current Planning Manager, and/or City Engineer shall be completed prior to issuance of any certificate of occupancy. Prior to issuance of any certificate of occupancy the following shall be provided to and approved by the City: A digital format compatible with the City's computer system, of as-built set of plans that shall include at a minimum all information that is on the final version of	All	Standard	

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	the Building Permit set including any revisions as well as the site plan, grading and utility plan, landscape and irrigation plan, floor plan for each level of the Project, parking structure plan, roof plan with all mechanical equipment identified as to purpose and source and all offsite improvements., and that are certified by the project architect and engineer.			
49.	The applicant shall scan the grading plans, all off-site plans, and SUSMP and SWPPP reports and forward the electronic copies to Engineering.	Public Works	Standard	
50.	All signs and existing painted curb fronting the site shall be replaced and refreshed.	Public Works	Standard	
51.	The Project shall comply with CCMC Chapter 15.06: New Development Fees including: a. Residential Development Park Dedication and In Lieu Parkland Fees as set forth in CCMC Section 15.06.300 et.seq., b. Mobility Improvement Fees, as set forth in CCMC Section 15.06.500, et. seq.	All	Standard	

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
52.	Pursuant to CCMC Section 17.650.020 -"Inspection", the Property Owner and Applicant shall allow authorized City officials, or their designees, access to the Property where there is reasonable cause to believe the Property is not in compliance with these Conditions of Approval or other requirements of the CCMC.	All	Standard	
53.	The use and development of the Property shall comply with these Conditions of Approval and all applicable local, special district or authority, county, state and federal statutes, codes, standards, regulations, guidelines and policies, including, but not limited to, Building Division, Fire Department, Current Planning Division and Public Works Department requirements, and shall comply with all applicable CCMC requirements and all comments made during the City's building permit plan check review process	All	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

NO.	CONDITIONS OF APPROVAL	Agency	Source	Compliance Verification
ON-GOING				
	(collectively, "Applicable Rules"). Failure to comply with Applicable Rules may result in reconstruction work, demolition, stop work orders, withholding of certificate of occupancy, revocation of land use permit approval and/or any other remedies available to the City in law or in equity.			
54.	All graffiti shall be removed from the Property within 48 hours of its application.	All Depts	Standard	
55.	The Property Owner shall maintain all street trees along the property frontage at his/her sole cost and expense.	Public Works	Standard	
56.	City Streetscape improvements shall be maintained by the project owner in perpetuity.	Public Works/ Current Planning	Standard	
57.	The project shall provide streetscape improvements along the project's street frontage including street trees in accordance with the Urban Forest Master Plan, and benches, bike racks, waste bins consistent with the specifications provided in the Washington National Streetscape plan.	Current Planning	Standard	
58.	All mitigation measures set forth in any environmental document relating to the Project (including any reports of the type contemplated by the California Environmental Quality Act) shall be incorporated herein by this reference as though fully set forth in these Conditions of Approval and shall be completed as specified therein.	Current Planning	Standard	
59.	If a residential unit is proposed to be demolished, or if a residential unit was demolished within the past five years, applicant shall submit an Application for a Replacement Unit Determination as required by the Housing Crisis Act of 2019, as amended by SB 8 and AB 1218 (California Government Code Section 66300 et seq.) along with any required Replacement Unit Determination fee. The applicant shall submit the Application for Replacement Unit Determination prior to submitting an application for a building permit. If the Replacement Unit Determination demonstrates that any residential unit is a "protected unit", applicant shall comply with all requirements of Government Code Section 66300 et seq. prior to issuance of building permit.	Current Planning	Standard	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
1.	All building permit applications for the Project shall include sufficient information and detail to clearly reflect compliance with all applicable requirements of the Culver City Municipal Code (the "CCMC") and with the Project Conditions of Approval.	Current Planning	
2.	The land use permit to which the Project Conditions of Approval apply (the "Land Use Permit") shall expire one year from the date of final approval of said Land Use Permit, if the use has not been exercised. As provided in CCMC Section 17.595.030 –"Time Limits and Extensions", an applicant may request an extension of said expiration date by filing a written request with the Current Planning Division prior to the expiration of the land use permit.	Current Planning	
3.	Pursuant to CCMC Section 17.630.010.C.4 – "Posted Notice", the public notification sign(s) installed in accordance with the public notification requirements for the Land Use Permit shall be removed within ten days after the end of the appeal period or the final decision by the City Council on the Land Use Permit, whichever occurs last.	Current Planning	
4.	The Project shall be developed pursuant to CCMC Chapter 17.300 – "General Property Development and Use Standards".	Current Planning	
5.	All planted areas on the Property shall be landscaped and irrigated pursuant to CCMC Chapter 17.310 - "Landscaping".	Current Planning	
6.	All parking areas on the Property shall be developed pursuant to CCMC Chapter 17.320 - "Off-Street Parking and Loading".	Current Planning	
7.	Signs proposed for the Project shall meet all applicable requirements of CCMC Chapter 17.330 - "Signs". All signs require a separate permit and approval.	Current Planning	
8.	Changes to the Project or use approved as part of the Land Use Permit may only be made in accordance with the provisions of CCMC Section 17.595.035 – "Changes to an Approved Project".	Current Planning	
9.	Each dwelling unit shall be equipped with a seismic shutoff valve at all gas connections.	Building	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
10.	Each dwelling unit shall be equipped with its own individual water meter.	Building	
11.	The Project shall be reviewed under the building code edition adopted when Building and Safety receives an application and plan check fees are paid, with the associated complete plan and supporting documentation set.	Building	
12.	The Project applicant shall obtain all permits and licenses required in connection with the development or use of the Project.	All	
13.	All work within the public right-of-way (including but not limited to curb, gutter, sidewalk, and driveways) shall be designed and completed to the satisfaction of the City Engineer. Drainage devices, concrete curbs and gutters, sidewalks, drive approaches, and roadway pavement shall be designed in conformity with all provisions of the latest edition of the American Public Works Association Standard Plans ("APWA Standards").	Public Works	
12.	All Project related solid and recyclable waste material handling shall be in accordance with CCMC Section 5.01.010 – "Solid Waste Management", which outlines the Sanitation Division's exclusive franchise for this service. The project shall provide adequate trash and recycling capacity and shall comply with Assembly Bills 939, 1826, and 341 waste diversion goals.	Public Works	
13.	Applicant shall pay an initial plan check fee in the amount of \$750.00 each upon submittal of the on-site Improvement and off-site Improvement plans for review. Additional plan check and permit fees will be determined per the Engineering Division's Schedule of Fees and Charges.	Public Works	
14.	Concurrent with the submittal of the on-site improvement plan, a Standard Urban Stormwater Mitigation Plan (SUSMP) shall be submitted for review and approval by the City Engineer as outlined in CCMC Chapter 5.05. The SUSMP shall be developed and implemented in accordance with the requirements of the Los Angeles County Municipal Stormwater National Pollution Discharge Elimination System (NPDES) Permit No. CAS614001 (Order No.	Public Works	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
	01-182). The SUSMP shall provide Best Management Practices (BMP's) that adequately address the pollutants generated during the post-construction stage and shall be designed for filtration, infiltration, and retention for the first 1.1" of rainfall. The site improvement plans shall note the contractor shall comply with the "California Stormwater Best Management Practice Handbooks". The Site Improvement Plans shall not be accepted for review unless the SUSMP is included in the submittal package, including the plan check fee associated with the SUSMP. Said SUSMP shall be used to guide the "Conceptual – Not For Construction" Post Development Hydrology / SUSMP Map. The approval of the SUSMP is required prior to issuance of the Site Improvement Plan. The SUSMP shall cover the new building and parking lot. The Site Improvement Plans shall not be accepted for review unless the SUSMP is included in the submittal package, including the plan check fee associated with the SUSMP.		
15.	Due to the change of use and increased density, this project is subject to the City's Sewer Facility Charge. This charge shall be paid prior to the issuance of the Building permit.	Public Works	
16.	Off-site improvement plans prepared by a civil engineer registered in the State of California shall be submitted to the Engineering Division for review, approval and permitting for all proposed improvements within the public right-of-way. Separate plans shall be submitted for street improvements, street light improvements, traffic signal, signage and striping, and sewer improvements. Landscape and irrigation plans for the public parkway area and raised medians shall be included in the street improvement plans.	Public Works	
17.	Plans submitted as part of the building permit application shall include a schedule of the special inspections anticipated, the firm proposed for the special inspections, and the resumes of all proposed special inspectors. The Building Official reserves the right to reject any special inspector at any time for the duration of the Project. All special inspection reports shall be made available to the Building Official and to any Culver City Building Safety inspector as required by the Building Official. No work shall be covered without a Culver City Building	Building	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
	Safety inspection, whether or not a special inspection was performed on such work.		
18.	Any new utilities shall be placed underground or enclosed within the building construction; no new overhead utilities shall be permitted.	Public Works/ Current Planning	
19.	The Project shall comply with all applicable requirements of the Culver City Energy Reach Codes as set forth in CCMC Section 15.02.1100-1180, et.seq.	Building	
20.	The Project shall comply with all applicable requirements relating to solar photovoltaic requirements as set forth in CCMC Section 15.02.100, et. seq. and as amended from time to time.	Building	
21.	<p>The Project shall comply will all requirements set forth in CCMC Subchapter 9.11.200, et seq., relating to the regulation of smoking in multi-unit housing, including, but not limited to, the following:</p> <ul style="list-style-type: none"> A. All dwelling units of a multi-unit residential property (containing two or more units) shall be designated nonsmoking units. B. Smoking in units, common areas and exclusive-use unenclosed areas shall be prohibited. C. Landlords and HOA Boards are required to provide in their leases and rules, respectively, the following terms related to nonsmoking: <ul style="list-style-type: none"> i. It is a material breach of the lease and a violation of the HOA rules (if applicable) to allow or engage in smoking in a unit; ii. It is a material breach of the lease, or violation of the HOA rules, as applicable, to engage in smoking in any common area, except in an outdoor designated smoking area, if one has been lawfully established and approved by the City; iii. It is a material breach of the lease, or violation of the HOA rules, as applicable, to violate any of the smoking laws while anywhere on the property; and 	City Attorney	

ATTACHMENT 2
Conditions of Approval and Code Requirements
Case No P2025-0043-ASPR
4051 Sawtelle Boulevard

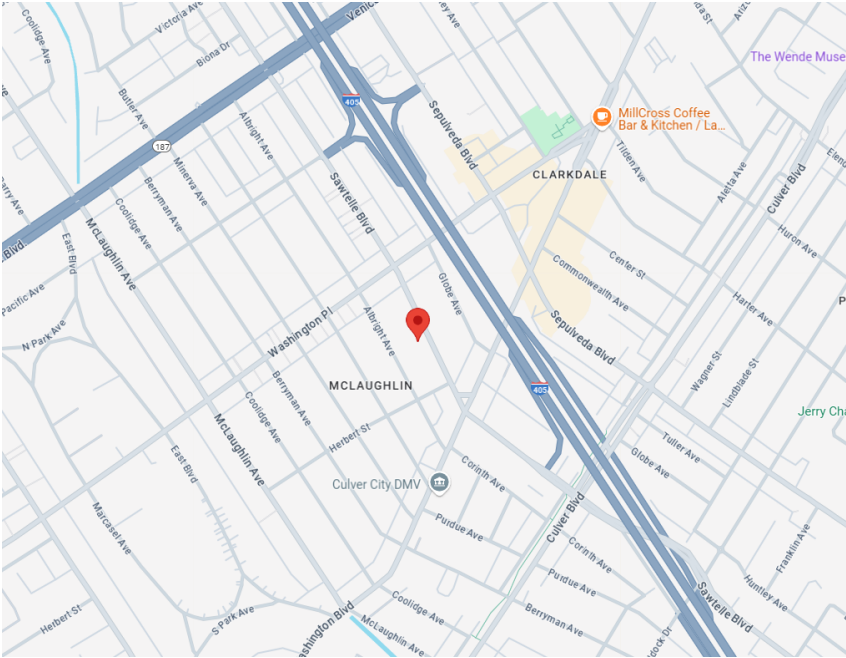
NO.	CODE REQUIREMENTS	Agency	Code Compliance Verification
	<p>iv. Other occupants of the property are express third-party beneficiaries of the provisions of the lease concerning smoking (for leases only).</p> <p>Smoking includes the smoking of tobacco, marijuana or any other weed or plant, but excludes e-cigarettes, incense and wood burning.</p> <p>The foregoing is not an exclusive list of requirements and the Project is subject to each and every provision set forth in CCMC Subchapter 9.11.200, et seq.</p>		
22.	<p>Upon completion of the rough grading and prior to excavation of shallow building foundations, the following reports and drawings and any supplements thereto shall be submitted to the City Engineer:</p> <p>a. An as-built grading plan prepared by the Civil Engineer.</p> <p>b. A certification by the civil engineer that the grading has been completed in conformance with the approved plan and California Building Code.</p> <p>c. A final compaction report and certification by the soils engineer that the grading has been completed to his/her satisfaction and is in compliance with the California Building Code.</p>	Public Works	
23.	All utility lines fronting the site shall be undergrounded by the applicant.	Public Works	

GLOSSARY OF ABBREVIATIONS

<u>American Public Works Association Standard Plans</u>	<u>APWA Standards.</u>
<u>Construction Management Plan</u>	<u>CMP</u>
<u>Culver City Municipal Code</u>	<u>CCMC</u>
<u>Electrical Vehicle</u>	<u>EV</u>
<u>Homeowner's Association</u>	<u>HOA</u>
<u>Standard Urban Stormwater Mitigation Plan</u>	<u>SUSMP</u>
<u>Stormwater Pollution Prevention Plan</u>	<u>SWPPP</u>
<u>Transit Oriented Development</u>	<u>TOD</u>



VICINITY MAP



PROJECT INFORMATION

ZONE:	RLD
APN:	4233-030-035
MAX BUILDING HEIGHT:	32'
PROPOSED BUILDING HEIGHT:	32'
FRONT SETBACK:	10'
SIDE YARD SET BACK:	5'
REAR YARD SETBACK:	10'
PARKING SPACE PROVIDED:	7 (6 COVERED 1 CARPORT)
LOT AREA:	6455 SF (0.148 ACRES)
OPEN SPACE REQUIREMENTS:	150 SF PER UNIT (60 SF PRIVATE)
ALLOWED DENSITY	35 UNITS PER ACRE 0.148 X35 = 5.18 UNITS
PROPOSED	4 UNITS (2 DUPLEXES)



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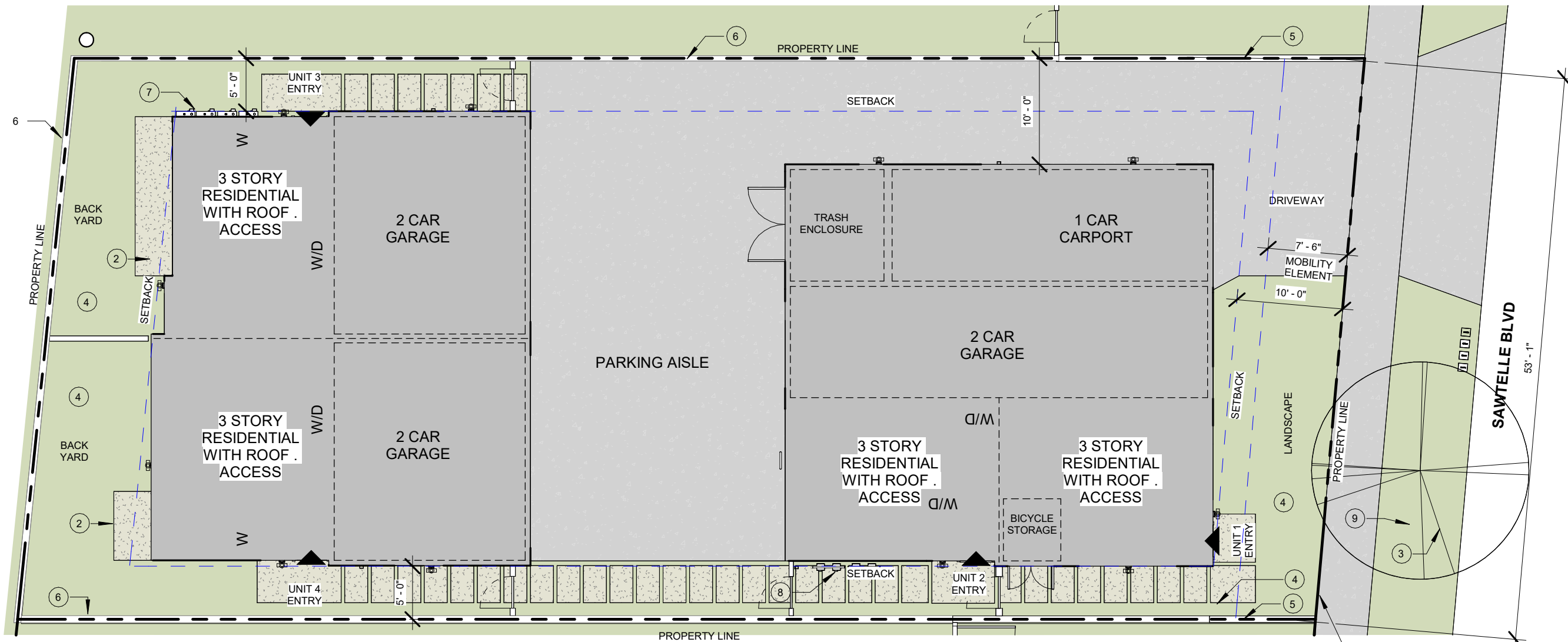
Ramsgate 700 LLC

4051 SAWTELLE BLVD
4051 Sawtelle Blvd
LOS ANGELES CA 90066

No.	Description	Date
1	PPR SUBMITTAL	12/13/24
2	PPR CORRECTIONS	1/23/25

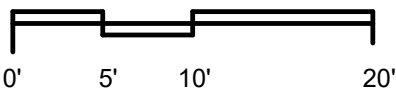
COVER

Project number	2024.02	A000
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	
Scale		12" = 1'-0"



- KEYNOTES
- 1.COLORED CONCRETE PAVERS
 - 2.CONCRETE PATIO
 - 3.(E) TREE
 - 4. LANDSCAPE AREA
 - 5. NEW FENCE WITHIN 4' TALL WITHIN FRONT YARD SET BACK
 - 6.(E) MASONRY FENCE
 - 7. (4) ELECTRICAL MAIN METERS (CONNECTED VIA UNDERGROUND CONDUIT)
 - 8. (4) GAS METERS
 - 9. (4) WATER METERS

SITE PLAN



TRUE
NORTH

PROJECT
NORTH

294 SF LANDSCAPE
TOTAL FRONT YARD -
535 sf
55% LANDSCAPE REQ.
294 SF MIN.



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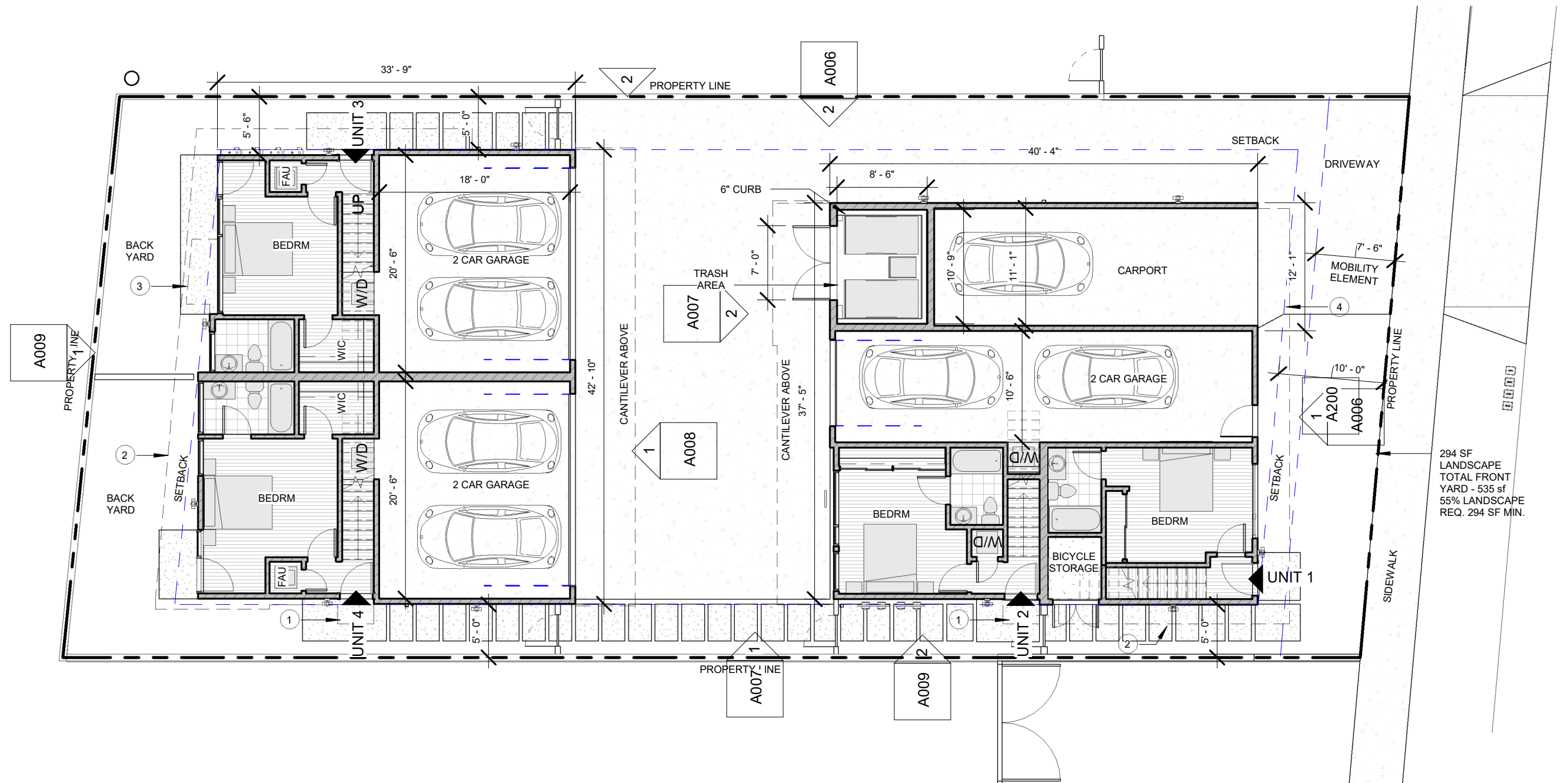
No.	Description	Date

Site Plan

Project number	2024.02
Date	7/06/23
Drawn by	Author
Checked by	Checker

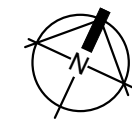
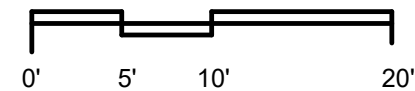
A001 Site

Scale 3/32" = 1'-0"

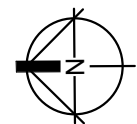


- KEYNOTES
- 1.CANOPY ABOVE
 - 2.ARCHITECTURAL PROJECTION ABOVE (TABLE 3.1 ZONING)
 - 3.BAY WINDOW ABOVE
 - 4.BALCONY ABOVE

FIRST FLOOR



TRUE
NORTH



PROJECT
NORTH

294 SF
LANDSCAPE
TOTAL FRONT
YARD - 535 sf
55% LANDSCAPE
REQ. 294 SF MIN.



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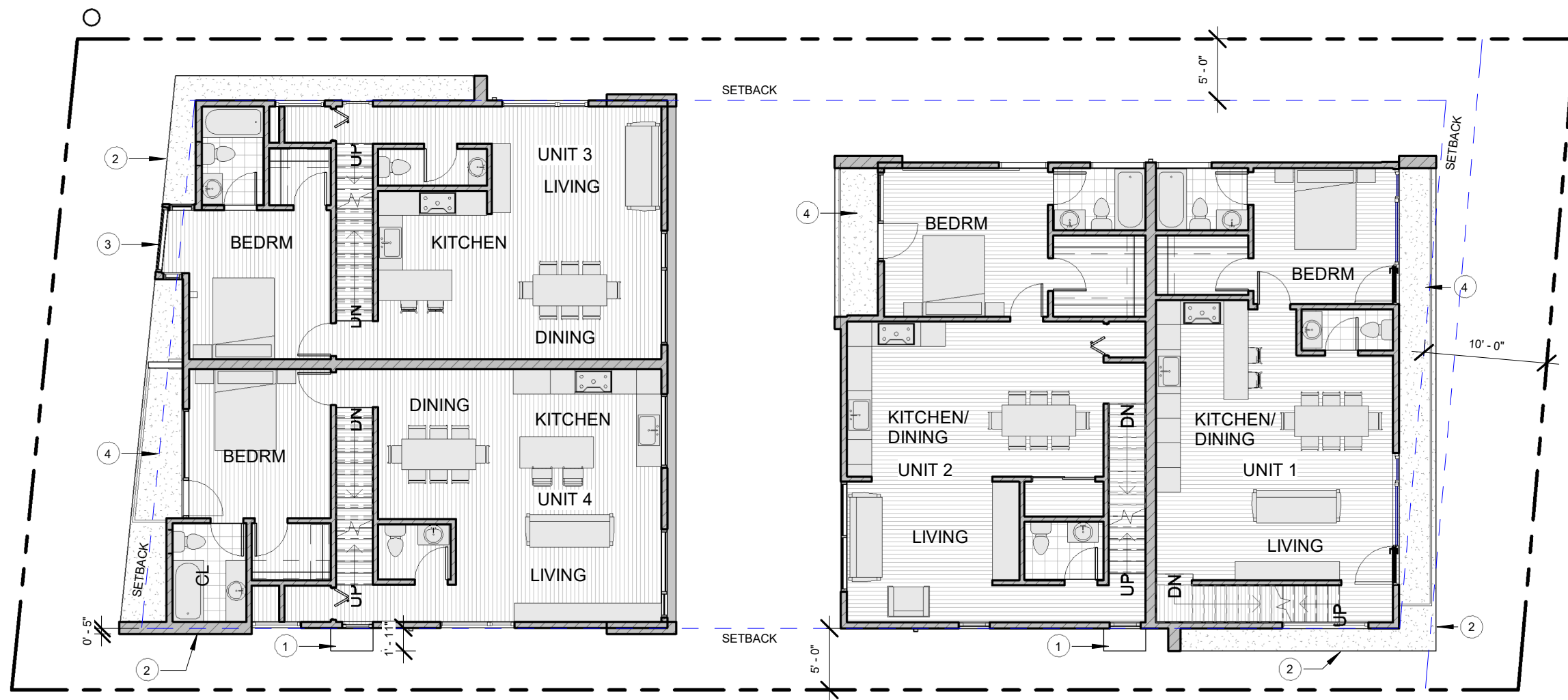
Ramsgate 700 LLC

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4051 Sawtelle Blvd
LOS ANGELES CA 90066

No.	Description	Date

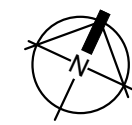
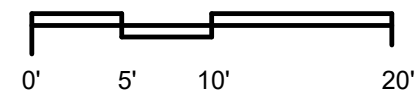
FIRST FLOOR

Project number	2024.02	A002
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	
Scale		3/32" = 1'-0"

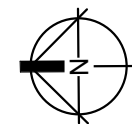


- KEYNOTES
- 1.CANOPY BELOW
 - 2.ARCHITECTURAL PROJECTION BELOW (TABLE 3.1 ZONING)
 - 3.BAY WINDOW
 - 4.BALCONY

SECOND FLOOR



TRUE
NORTH



PROJECT
NORTH



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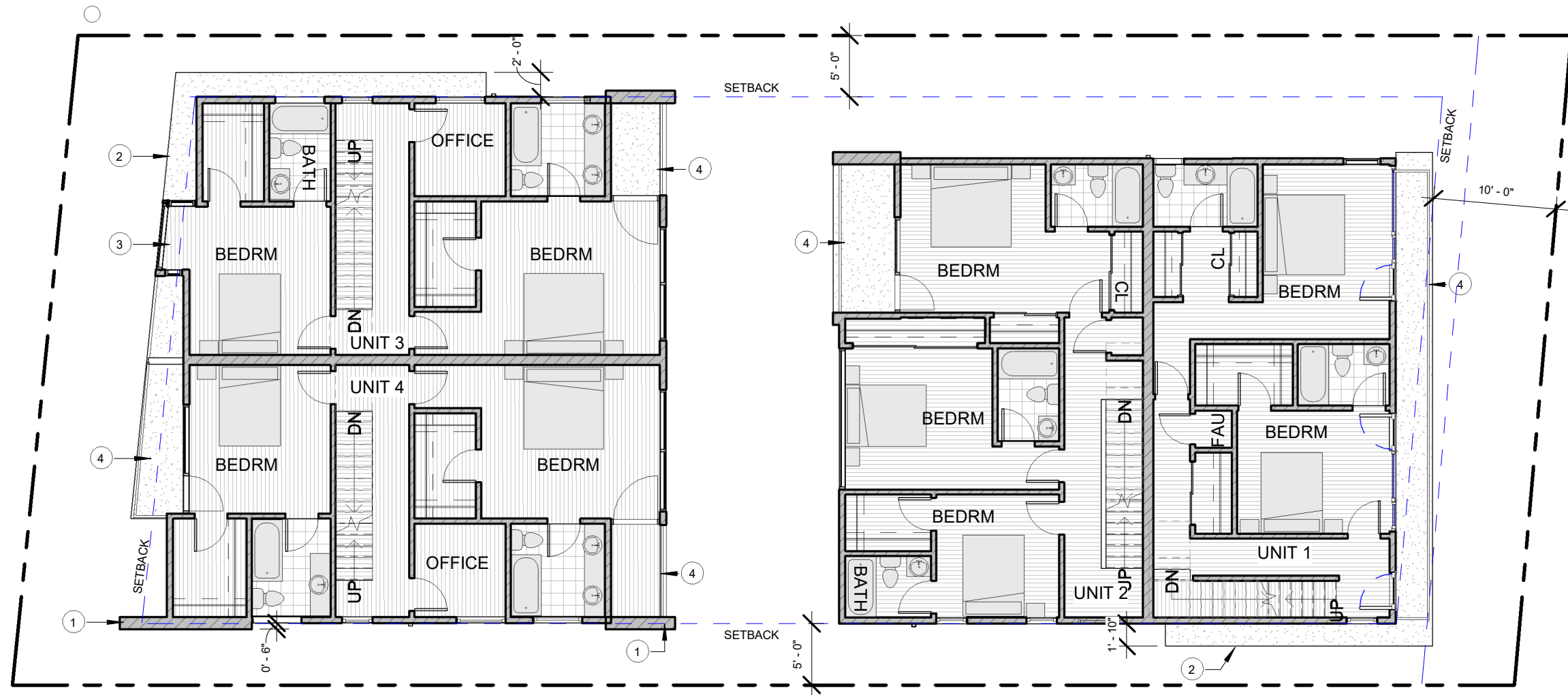
4051 SAWTELLE BLVD

**4051 Sawtelle Blvd
LOS ANGELES CA 90066**

No.	Description	Date

SECOND FLOOR

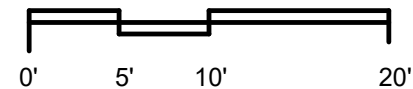
Project number	2024.02	A003
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	
Scale		3/32" = 1'-0"



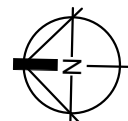
KEYNOTES

- 1.ARCHITECTURAL PROJECTION (VERTICAL) (TABLE 3.1 ZONING)
- 2.ARCHITECTURAL PROJECTION BELOW (TABLE 3.1 ZONING)
- 3.BAY WINDOW
- 4.BALCONY

THIRD FLOOR



TRUE
NORTH



PROJECT
NORTH



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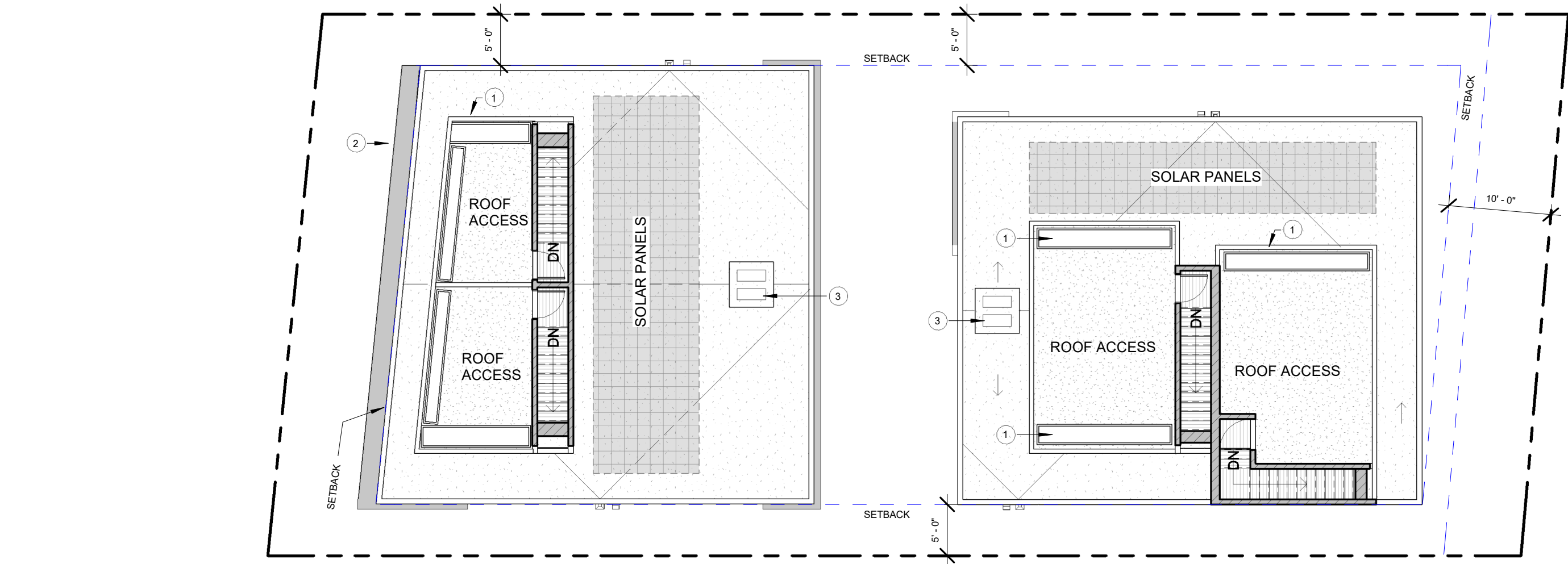
Ramsgate 700 LLC

4051 SAWTELLE BLVD
4051 Sawtelle Blvd
LOS ANGELES CA 90066

No.	Description	Date

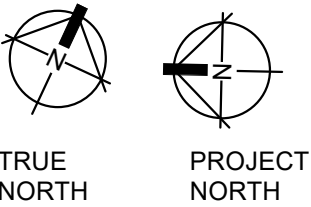
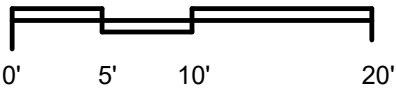
THIRD FLOOR

Project number	2024.02	A004
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	
Scale		3/32" = 1'-0"



- KEYNOTES
- 1.PLANTER
 - 2.ARCHITECTURAL PROJECTION (TABLE 3.1 ZONING)
 - 3. ROOF TOP CONDENSERS

ROOF



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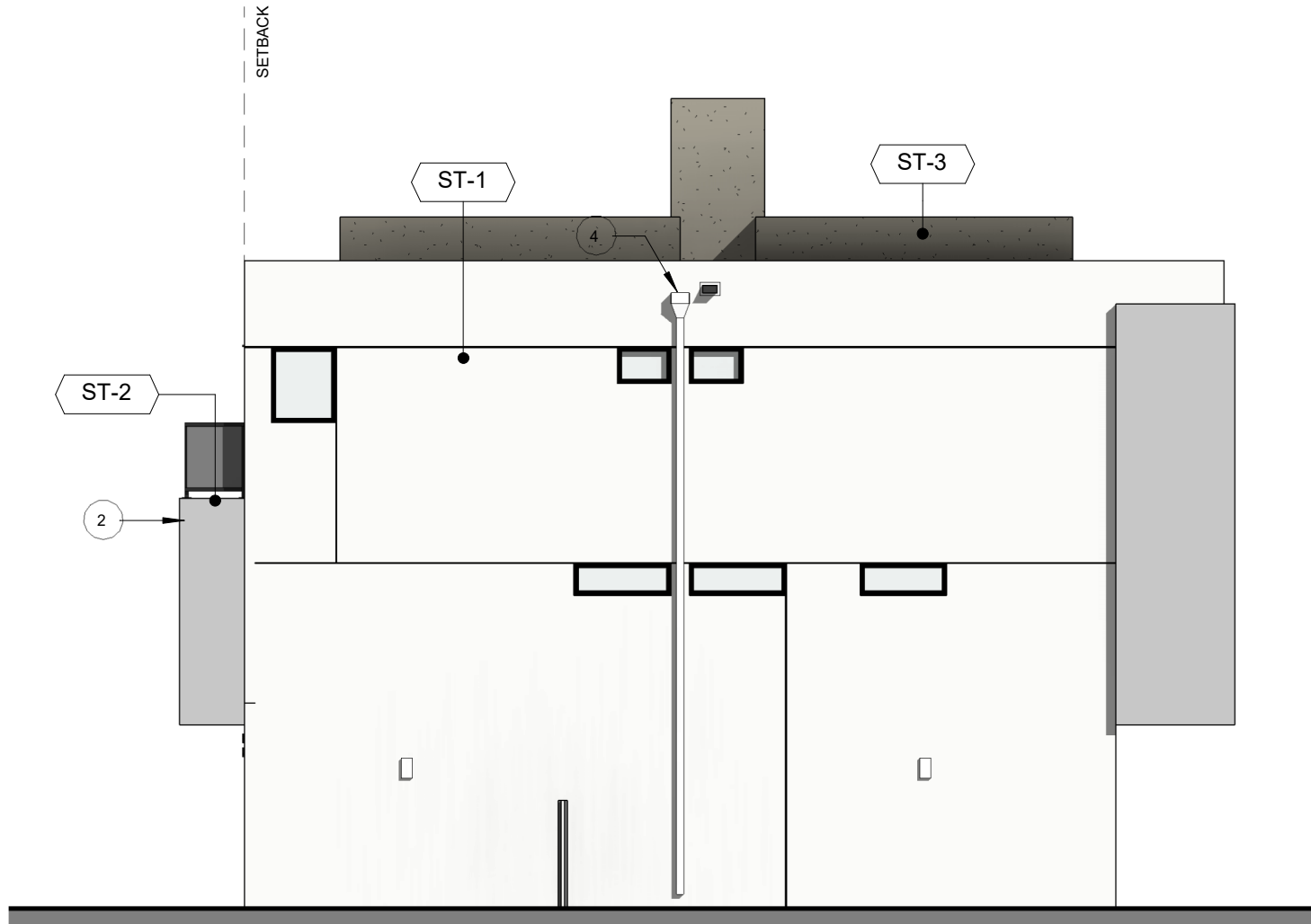
LOS ANGELES CA 90066

No.	Description	Date

ROOF PLAN

Project number	2024.02	A005
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	

Scale 3/32" = 1'-0"



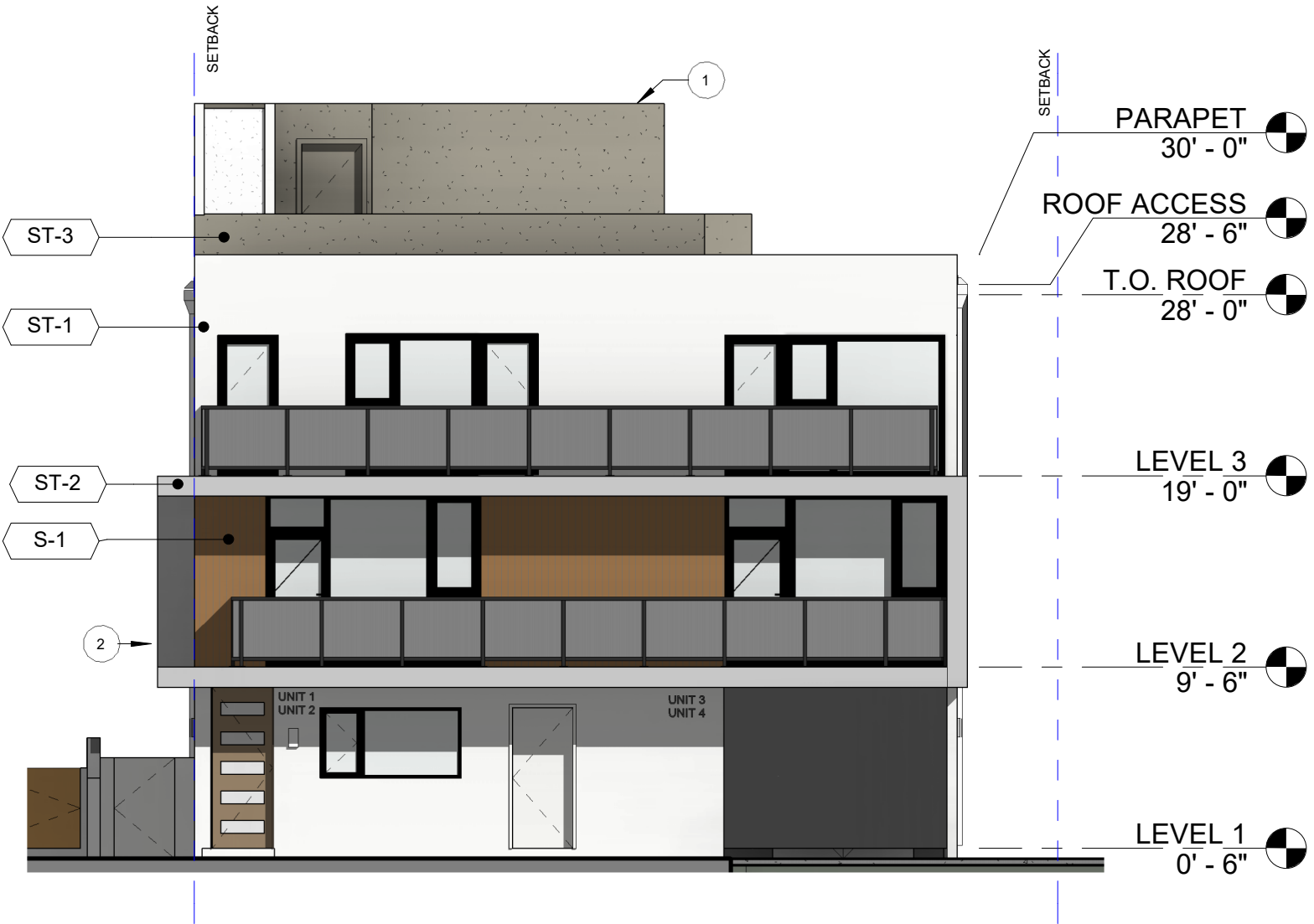
2 FRONT UNIT (NORTH ELEVATION)
1/8" = 1'-0"

ELEVATION NOTES

- 1. ROOF ACCESS STAIR
- 2. ARCHITECTURAL PROJECTION FEATURE WITHIN SETBACK. 3' MAX. PER ZONING CODE TABLE 3-1
- 3. PAINTED AWNING
- 4. DOWNSPOUT AND OVERFLOW
- 5. ROOF TOP CONDENSING UNITS

ELEVATION MATERIALS

- ST-1 WHITE STUCCO
- ST-2 GRAY STUCCO
- ST-1 MESA VERDE STUCCO
- S-1 VINYL SIDING



1 FRONT UNIT (EAST ELEVATION)
1/8" = 1'-0"



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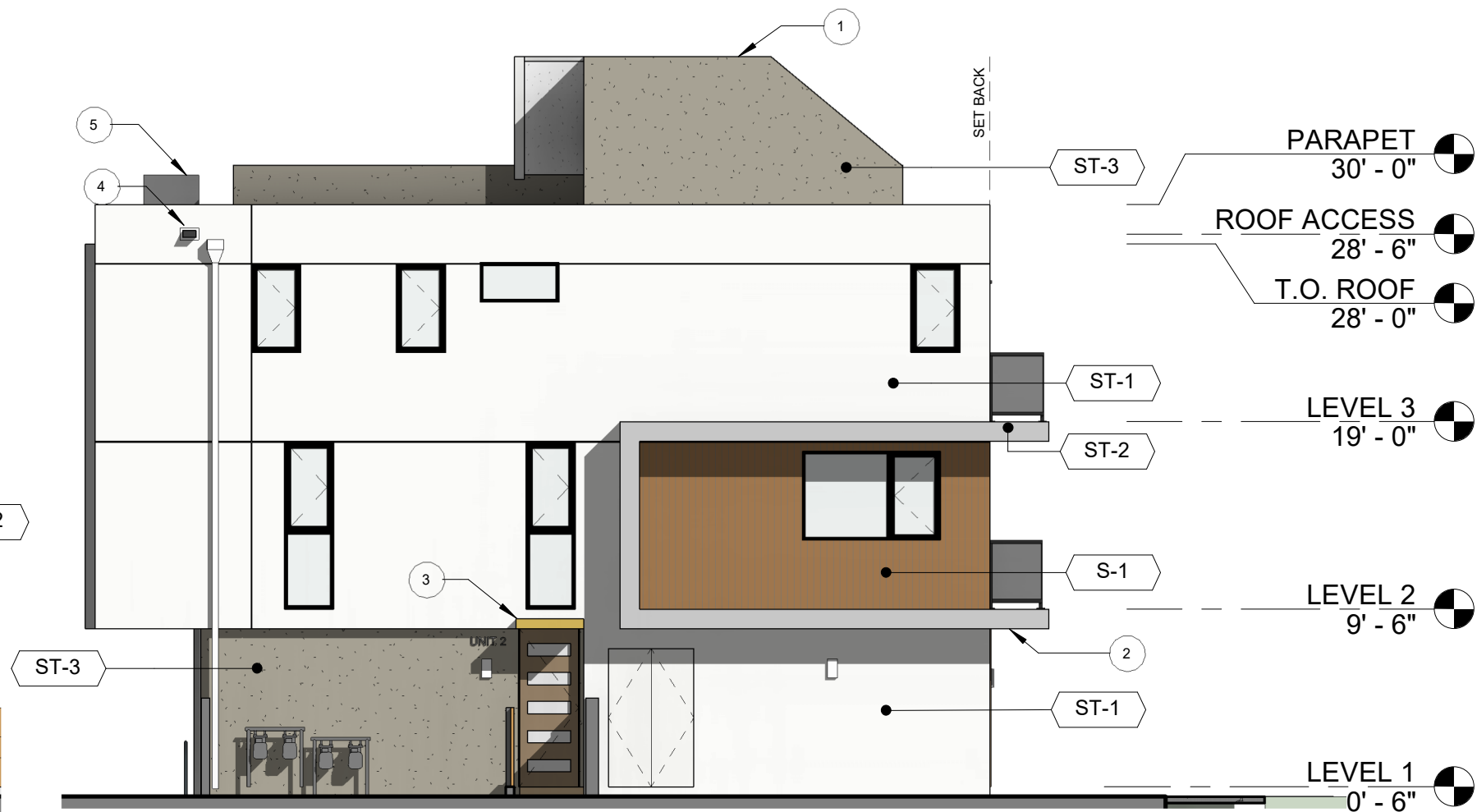
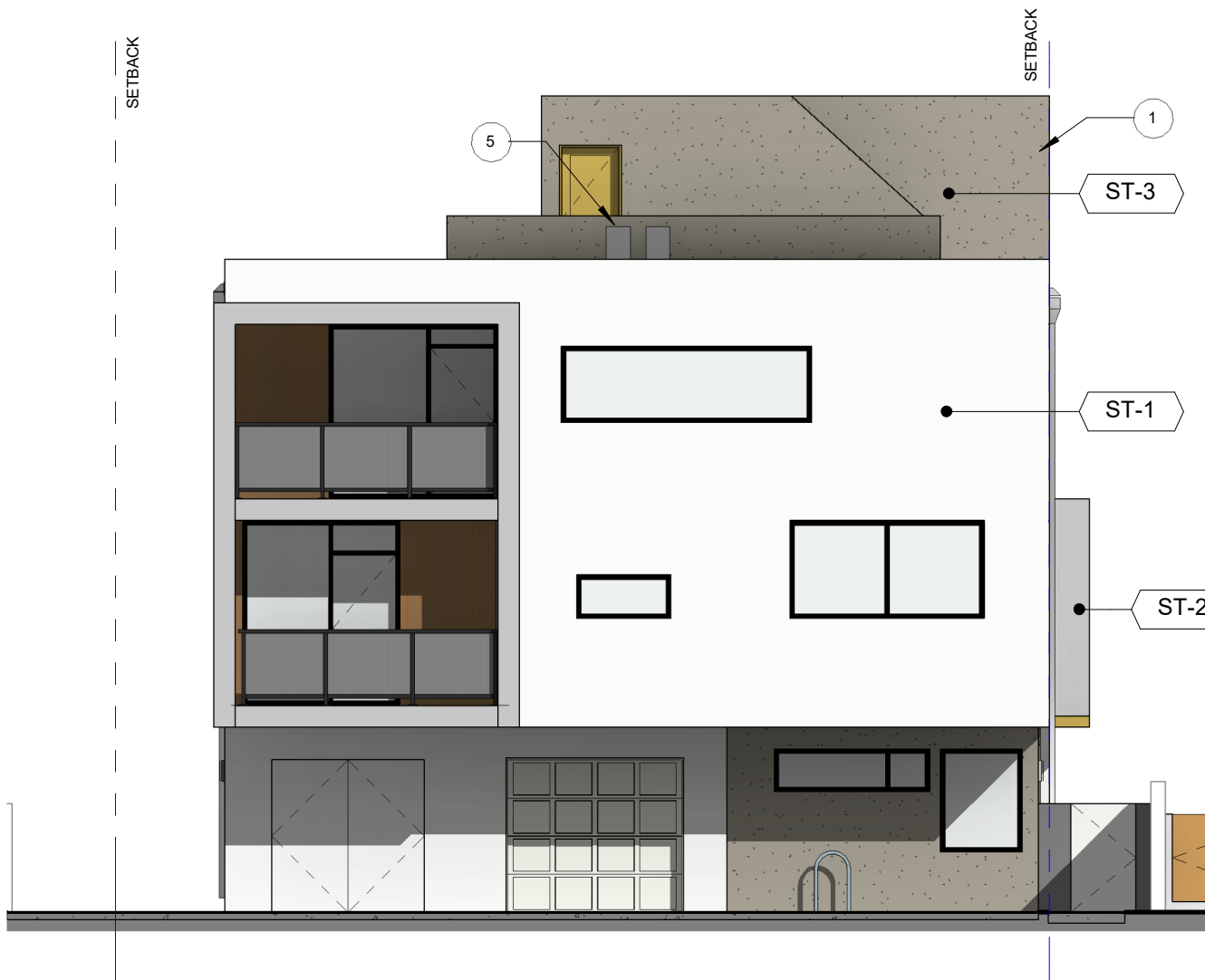
Ramsgate 700 LLC

4051 SAWTELLE BLVD
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LOS ANGELES CA 90066

No.	Description	Date

ELEVATIONS (FRONT UNIT)

Project number	2024.02	A006
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	
Scale		As indicated



② FRONT UNIT (WEST ELEVATION)
1/8" = 1'-0"

① FRONT UNIT (SOUTH ELEVATION)
1/8" = 1'-0"

ELEVATION NOTES

1. ROOF ACCESS STAIR
2. ARCHITECTURAL PROJECTION FEATURE WITHIN SETBACK. 3' MAX. PER ZONING CODE TABLE 3-1
3. PAINTED AWNING
4. DOWNSPOUT AND OVERFLOW
5. ROOF TOP CONDENSING UNITS

ELEVATION MATERIALS

- | | |
|------|-------------------|
| ST-1 | WHITE STUCCO |
| ST-2 | GRAY STUCCO |
| ST-1 | MESA VERDE STUCCO |
| S-1 | VINYL SIDING |



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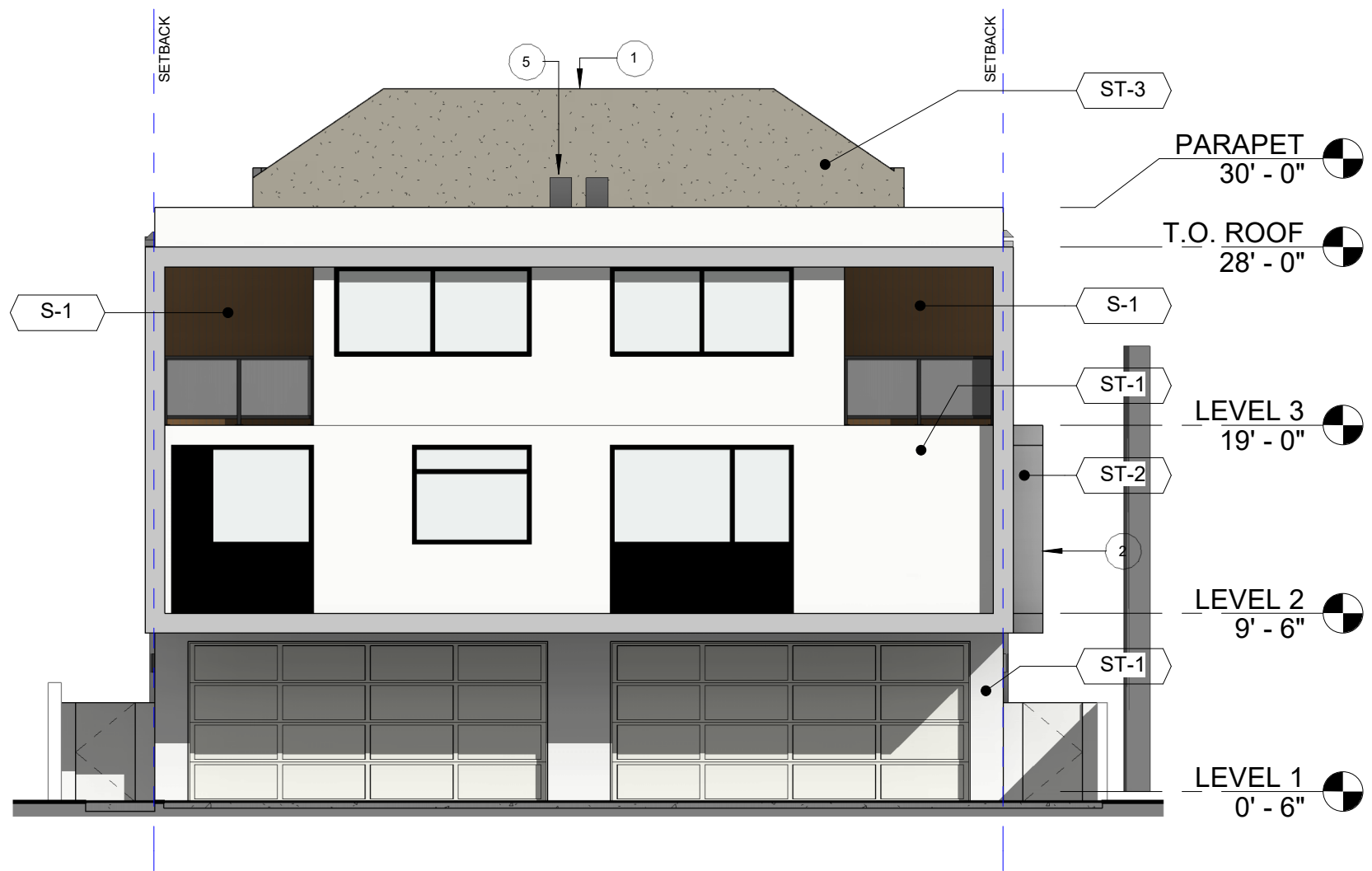
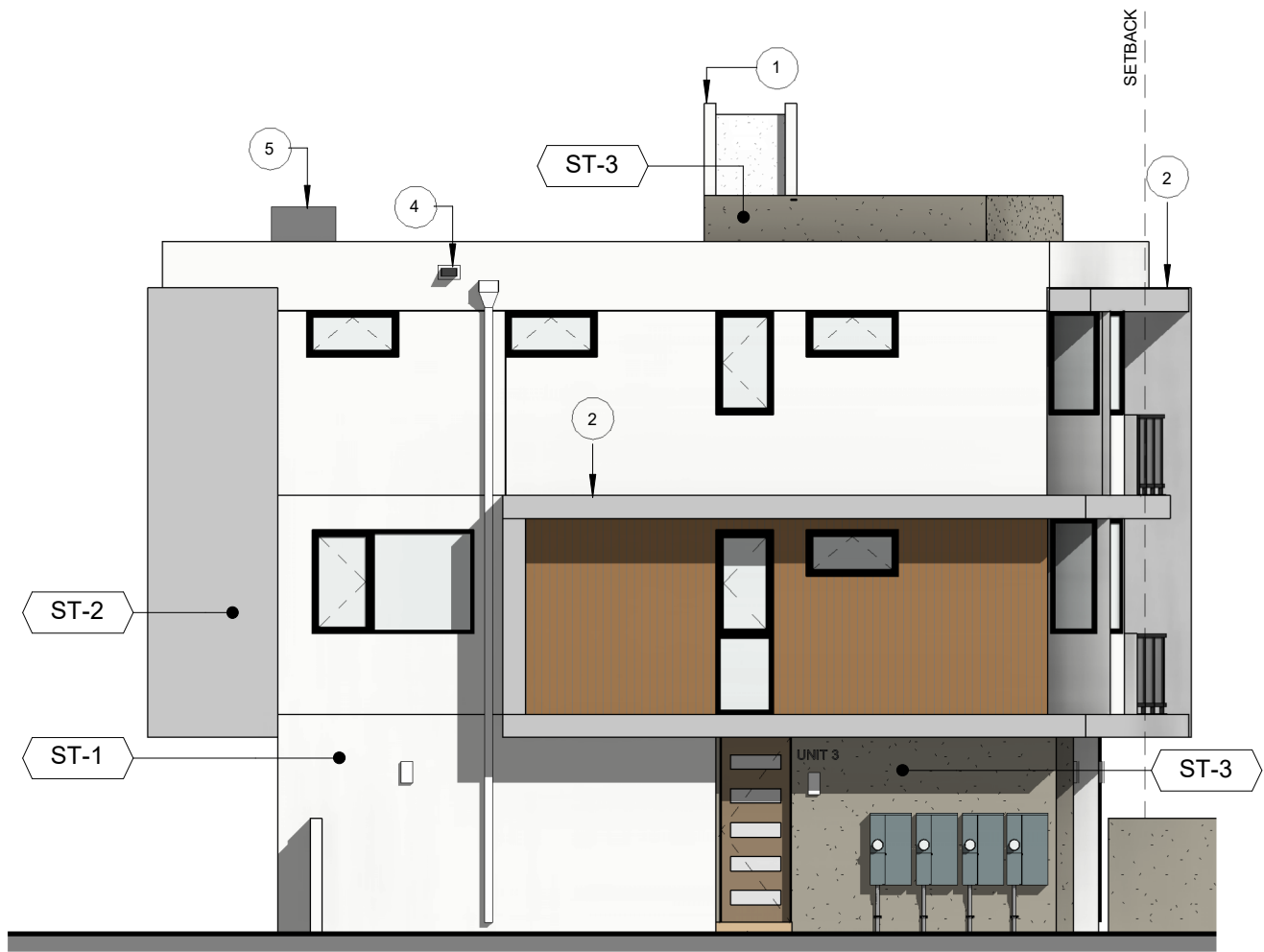
Ramsgate 700 LLC

4051 SAWTELLE BLVD
4051 Sawtelle Blvd
LOS ANGELES CA 90066

No.	Description	Date

ELEVATIONS (FRONT UNIT)

Project number	2024.02	A007
Date	7/06/23	
Drawn by	Author	
Checked by	Checker	
Scale		As indicated



2 11X17 BACK UNIT (NORTH ELEVATION)
1/8" = 1'-0"

1 11X17 BACK UNIT (EAST ELEVATION)
1/8" = 1'-0"

ELEVATION NOTES

1. ROOF ACCESS STAIR
2. ARCHITECTURAL PROJECTION FEATURE WITHIN SETBACK. 3' MAX. PER ZONING CODE TABLE 3-1
3. PAINTED AWNING
4. DOWNSPOUT AND OVERFLOW
5. ROOF TOP CONDENSING UNITS

ELEVATION MATERIALS

- | | |
|------|-------------------|
| ST-1 | WHITE STUCCO |
| ST-2 | GRAY STUCCO |
| ST-1 | MESA VERDE STUCCO |
| S-1 | VINYL SIDING |



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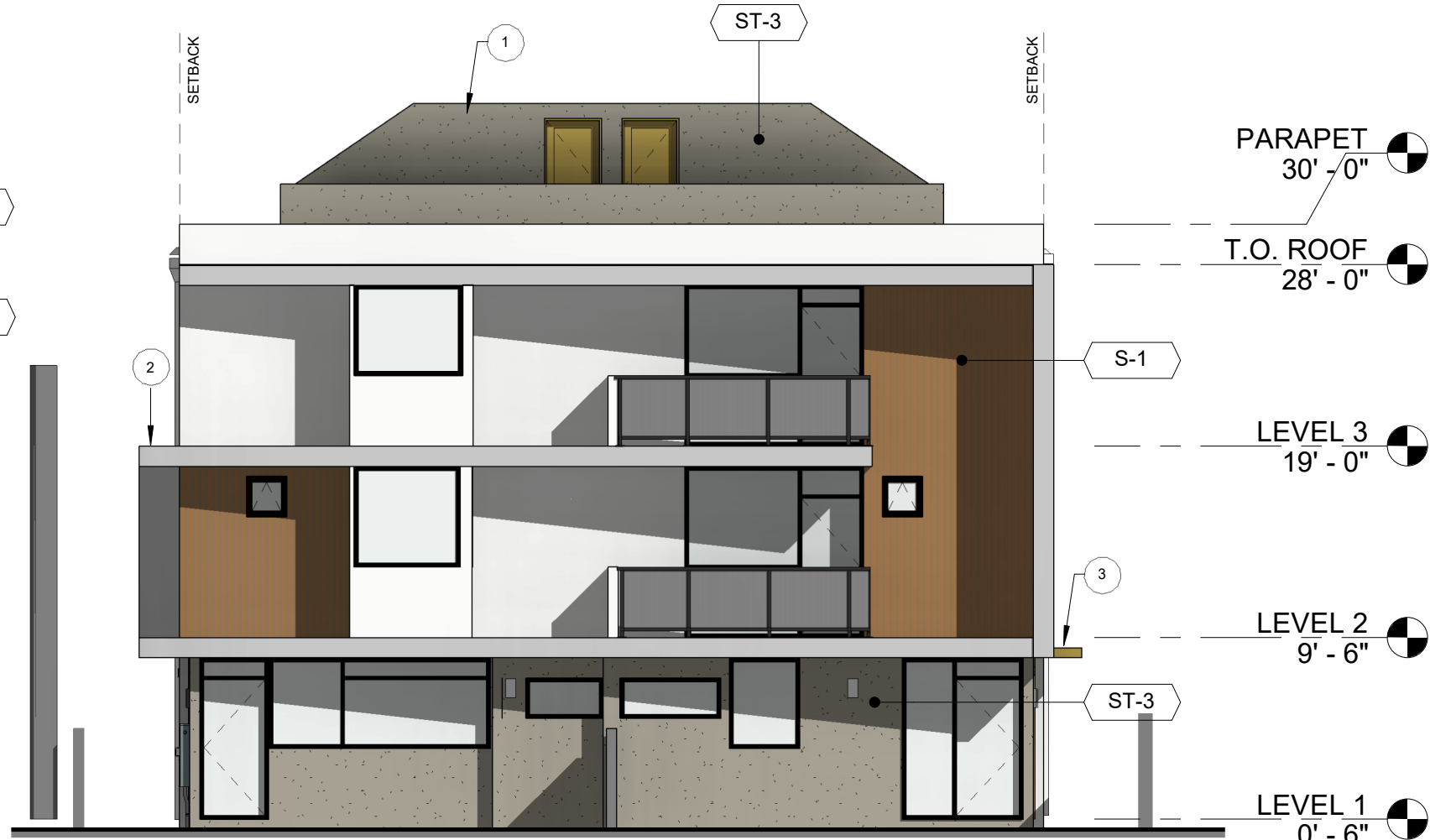
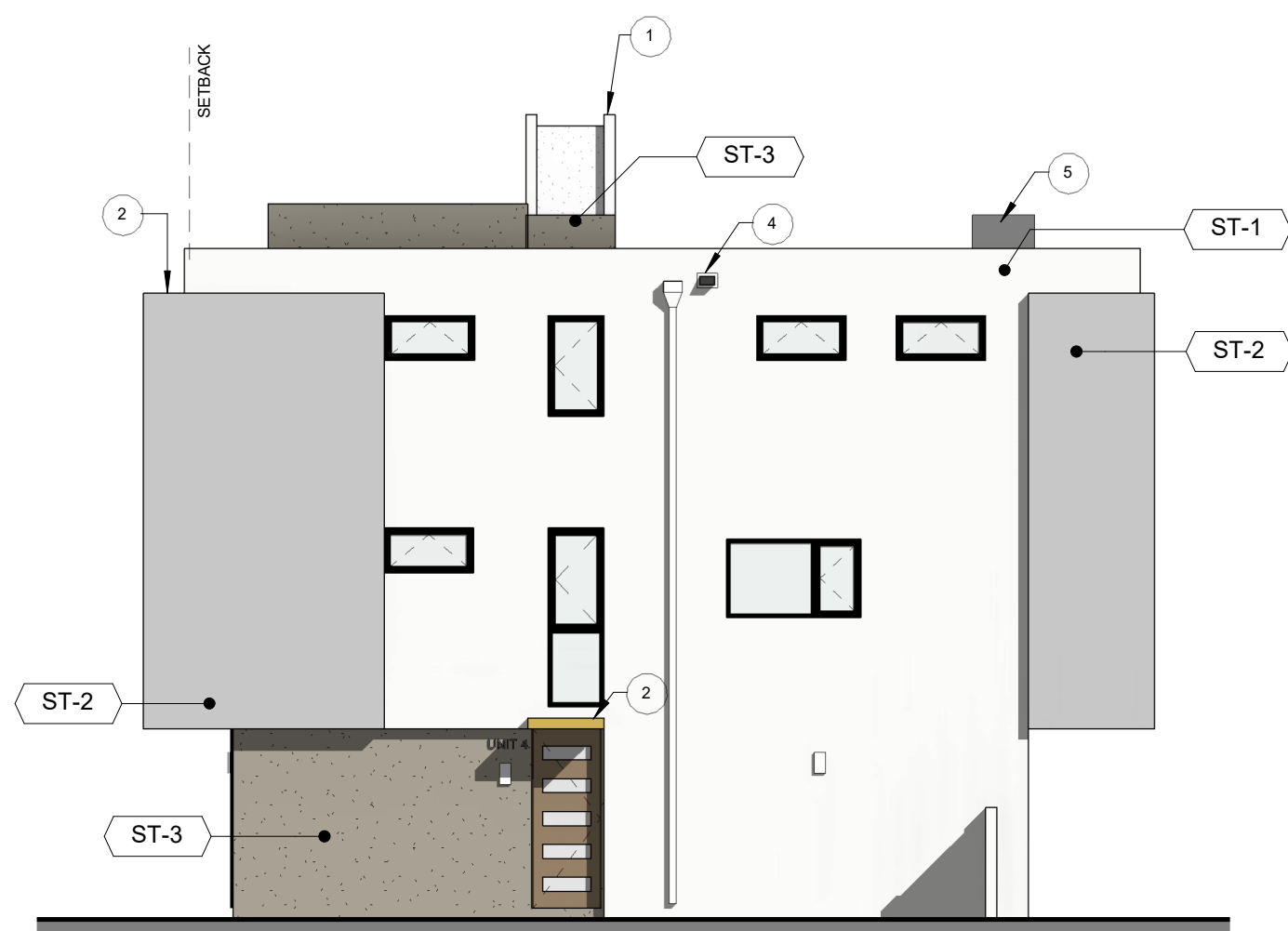
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No.	Description	Date

ELEVATIONS (BACK UNIT)

Project number	2024.02	A008
Date	7/06/23	
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Checked by	Checker	
Scale		As indicated



② 11X17 BACK UNIT (SOUTH ELEVATION)
1/8" = 1'-0"

① BACK UNIT (WEST ELEVATION)
1/8" = 1'-0"

ELEVATION NOTES

1. ROOF ACCESS STAIR
2. ARCHITECTURAL PROJECTION FEATURE WITHIN SETBACK. 3' MAX. PER ZONING CODE TABLE 3-1
3. PAINTED AWNING
4. DOWNSPOUT AND OVERFLOW
5. ROOF TOP CONDENSING UNITS

ELEVATION MATERIALS

ST-1	WHITE STUCCO
ST-2	GRAY STUCCO
ST-1	MESA VERDE STUCCO
S-1	VINYL SIDING



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No.	Description	Date

RENDERINGS

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Date 7/06/23

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